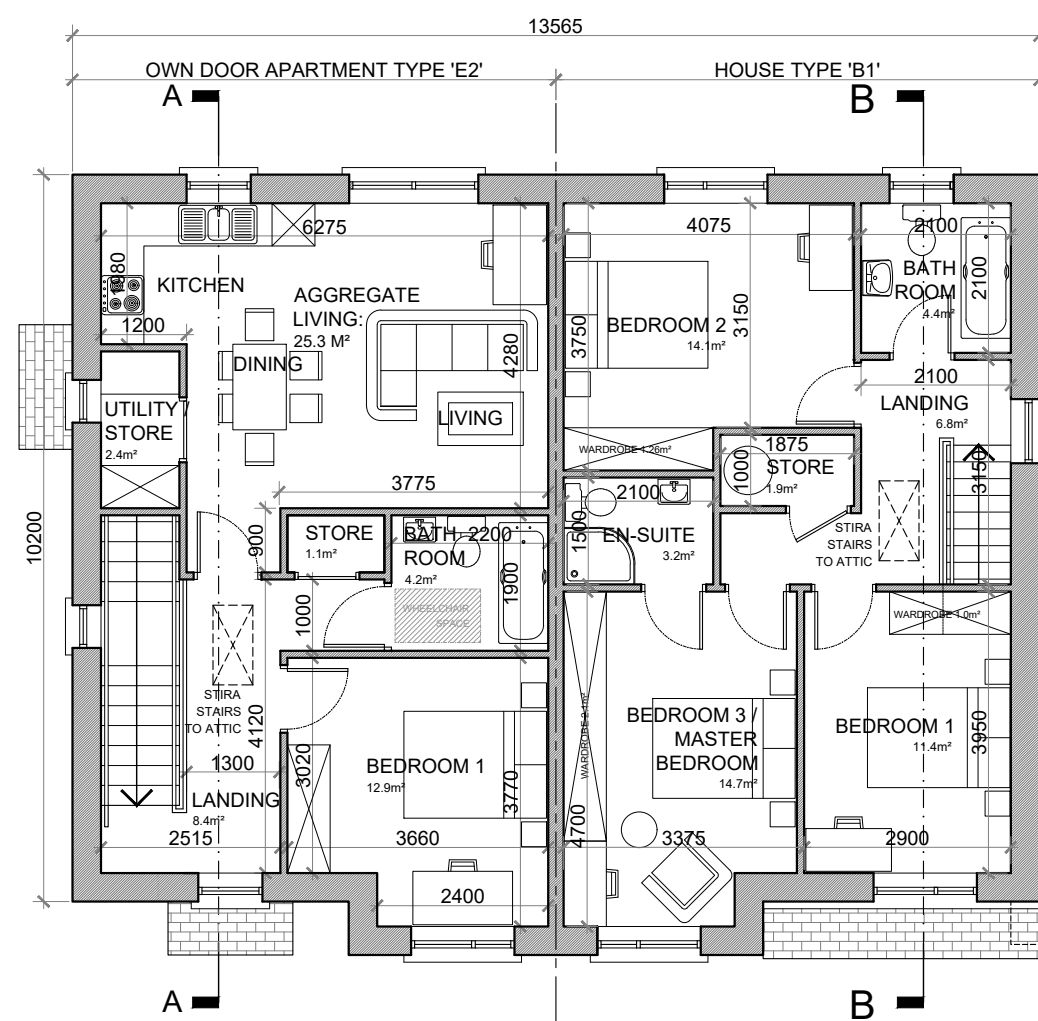


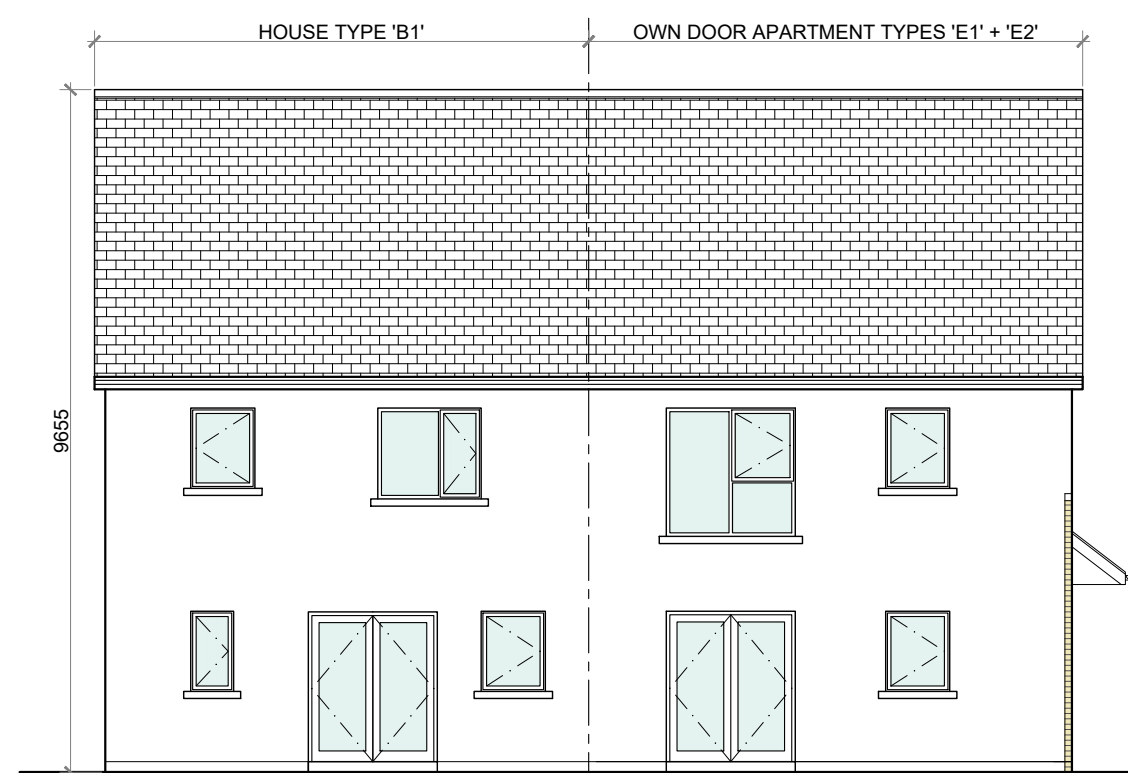
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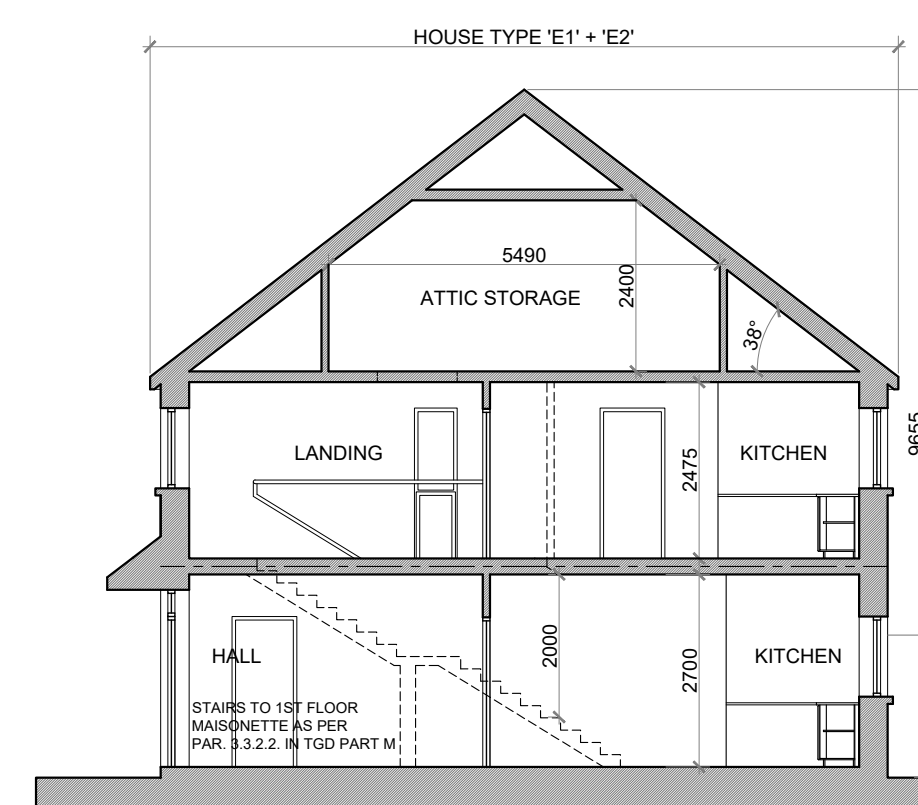
FIRST FLOOR PLAN @ 1:100  
TYPES 'E2' + 'B1'



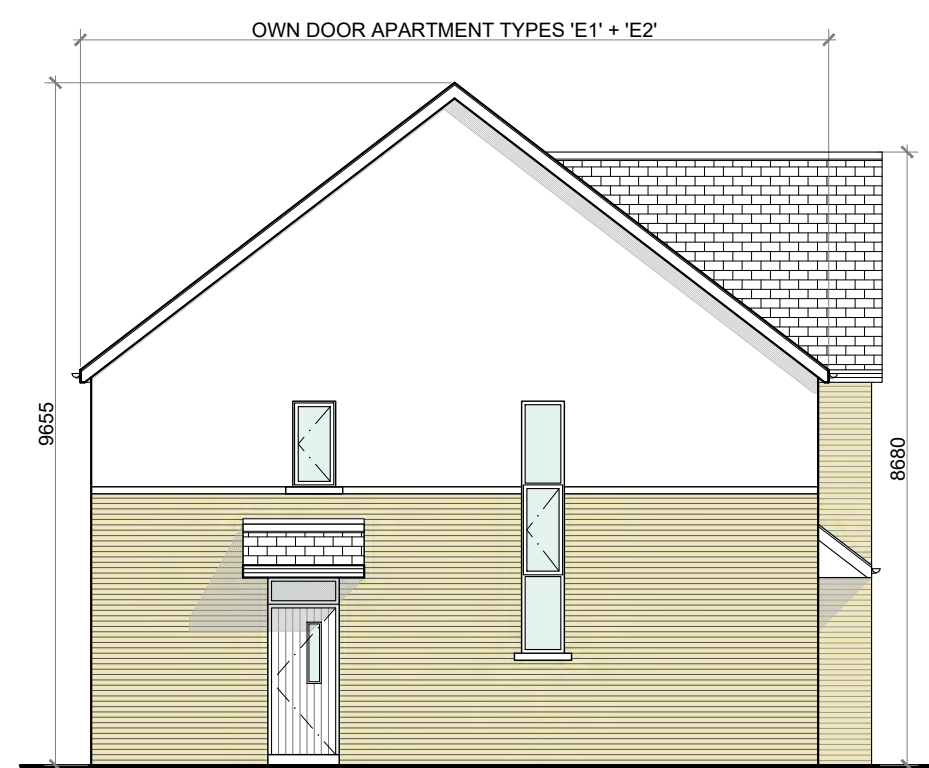
FRONT ELEVATION @ 1:100  
TYPES 'E1' + 'E2' + 'B1'



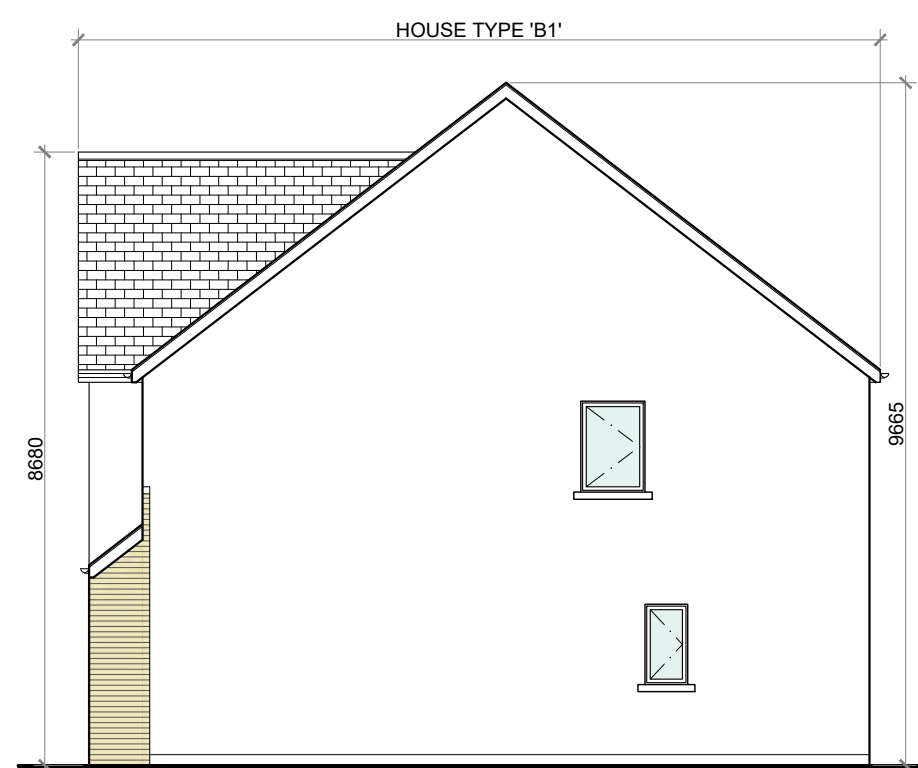
REAR ELEVATION @ 1:100  
TYPES 'E1' + 'E2' + 'B1'



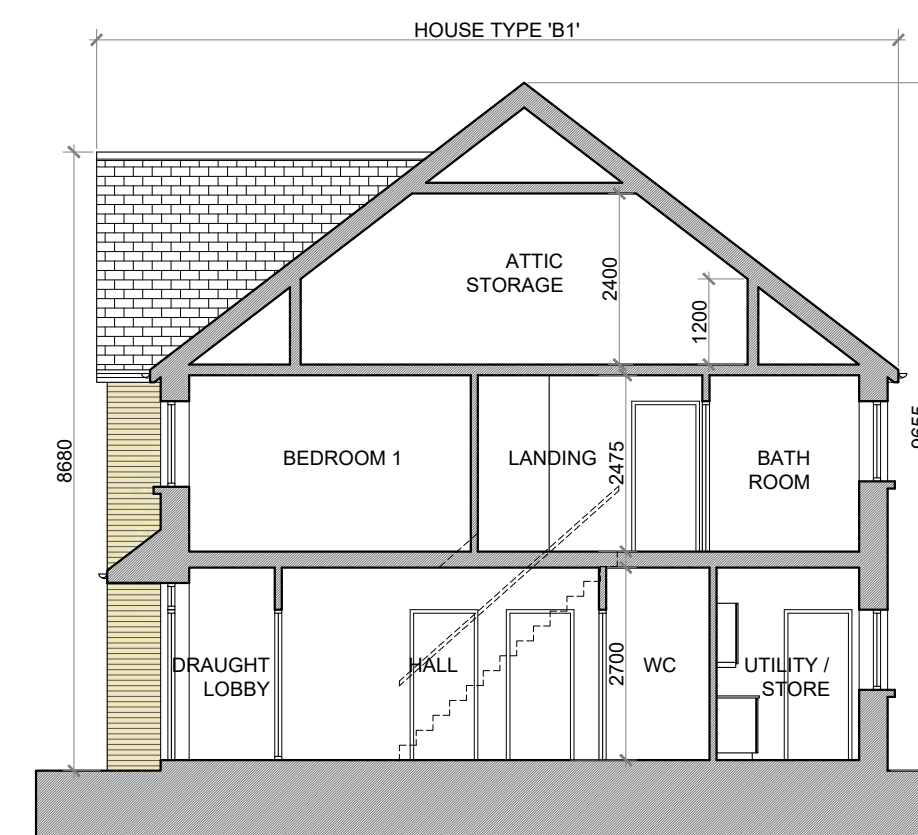
SECTION A-A @ 1:100  
TYPES 'E1' + 'E2'



SIDE ELEVATION (DUAL FRONTAGE) @ 1:100  
TYPES 'E1' + 'E2'



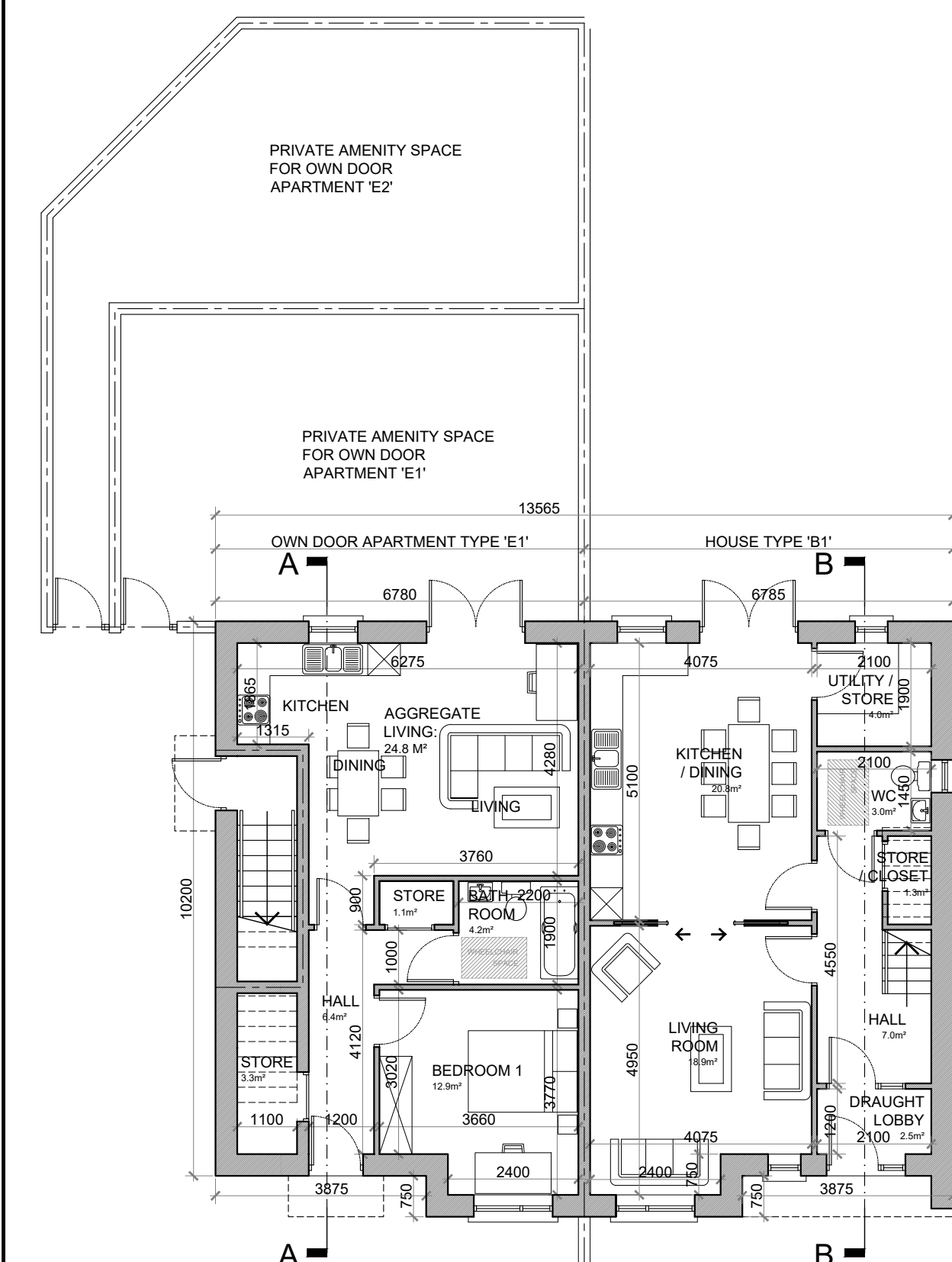
SIDE ELEVATION @ 1:100  
TYPE 'B1'



SECTION B-B @ 1:100  
TYPE 'B1'

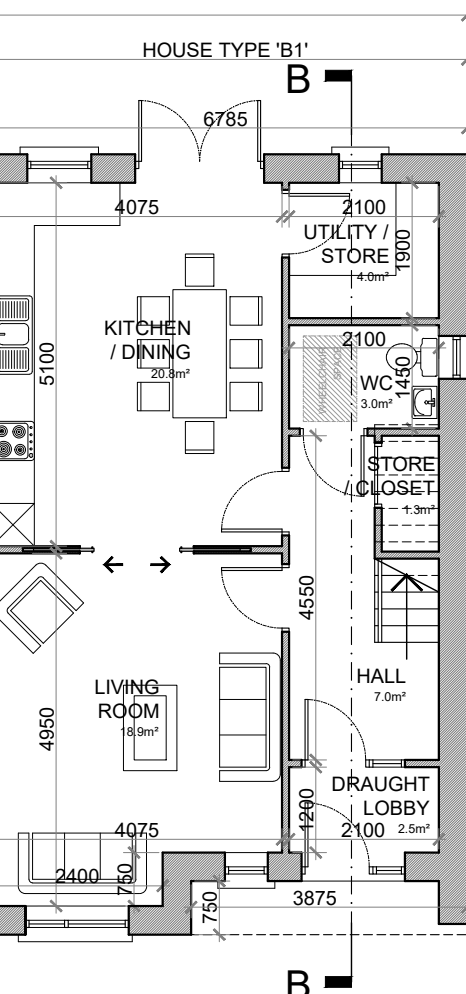
#### PROPOSED FINISHES:

- SLATE / TILED FINISH TO ROOF.
- UPVC / ALUMINIUM FINISH TO FASCIA, GUTTERS AND DOWNPIPES.
- SELECTED BRICK FINISH TO AREAS AS INDICATED.
- PLASTER / RENDER FINISH TO WALLS AS INDICATED.
- UPVC / ALUMINIUM / TIMBER FINISH TO WINDOWS AND DOORS.
- PAINTED CONCRETE / STONE SILLS AND CAPPINGS.
- PLASTER / RENDER FINISH TO PLINTH.



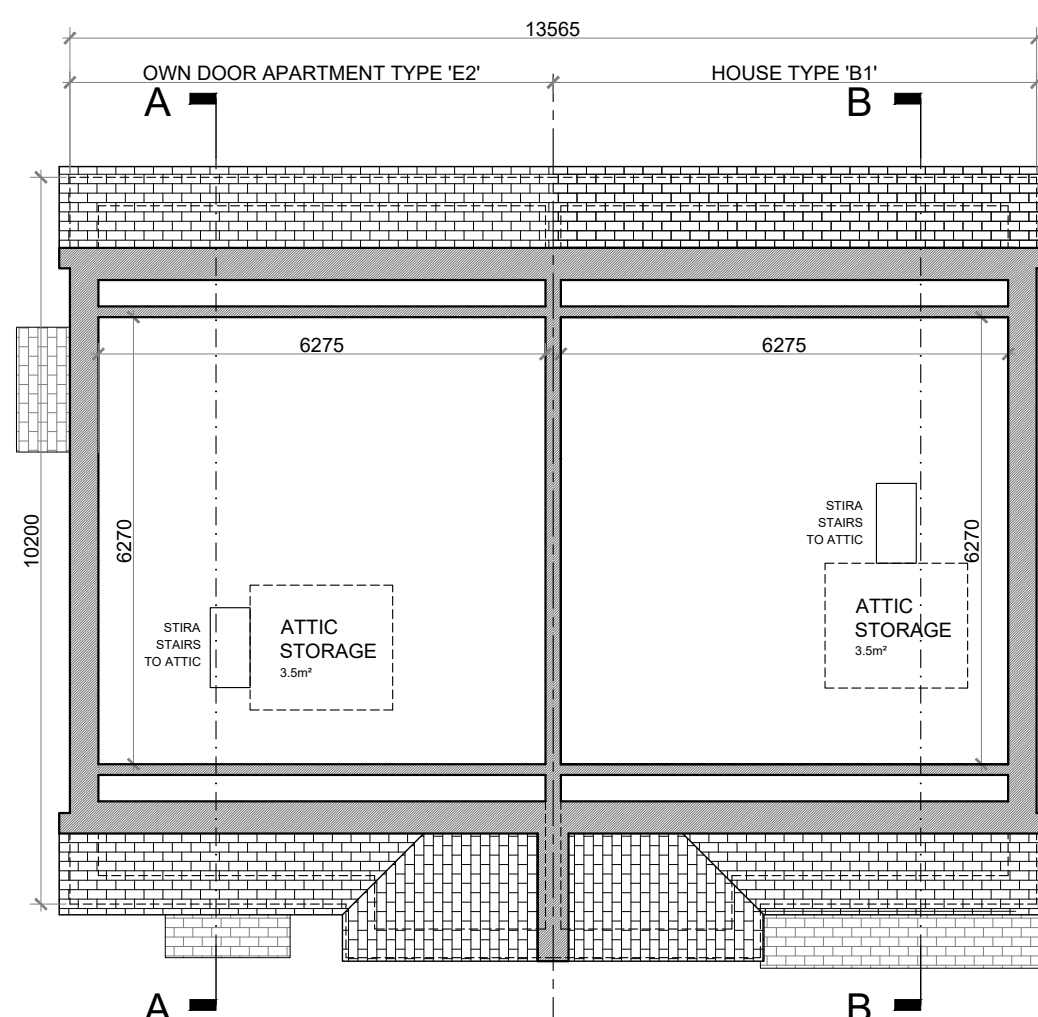
GROUND FLOOR PLAN @ 1:100  
TYPES 'E1'

'E1' FLOOR AREA: 55 SQ.M. (592.0 SQ.FT.)  
'E2' FLOOR AREA: 65.3 SQ.M. (703.0 SQ.FT.)  
GROUND FLOOR AREA: 60.8 SQ.M. (654.5 SQ.FT.)  
FIRST FLOOR AREA: 60.8 SQ.M. (654.5 SQ.FT.)  
TOTAL FLOOR AREA: 121.6 SQ.M. (1309.0 SQ.FT.)



GROUND FLOOR PLAN @ 1:100  
TYPES 'B1'

GROUND FLOOR AREA: 60.8 SQ.M. (654.5 SQ.FT.)  
FIRST FLOOR AREA: 60.8 SQ.M. (654.5 SQ.FT.)  
TOTAL FLOOR AREA: 121.6 SQ.M. (1309.0 SQ.FT.)



ATTIC STORAGE PLAN @ 1:100  
TYPES 'E2' + 'B1'

#### HOUSE TYPE 'B1'

##### 3 BED SEMI-DETACHED—6 PERSON

FLOOR AREA / ROOM WIDTH REQUIREMENTS*:		
AREAS:		
MAIN LIVING ROOM	PROVIDED: 18.9 M <sup>2</sup>	MIN. REQUIRED: 15 M <sup>2</sup>
BEDROOM 1	11.4 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 2	14.1 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 3 (MAIN)	15.4 M <sup>2</sup>	13 M <sup>2</sup>
AGGREGATE LIVING	39.7 M <sup>2</sup>	37 M <sup>2</sup>
AGGREGATE BEDROOM	40.2 M <sup>2</sup>	36 M <sup>2</sup>
GROSS STORAGE	10.7 M <sup>2</sup>	6 M <sup>2</sup> (NCC 9 M <sup>2</sup> )
GROSS FLOOR SPACE	121.6 M <sup>2</sup>	100 M <sup>2</sup> (NCC 100 M <sup>2</sup> )

WIDTHS:		
LIVING ROOM	PROVIDED: 4.075 M	MIN. REQUIRED: 3.8 M
BEDROOM 1 (DOUBLE)	2.9 M	2.8 M
BEDROOM 2 (DOUBLE)	3.15 M	2.8 M
BEDROOM 3 (DOUBLE)	3.375 M	2.8 M

\*FIGURES TAKEN FROM *QUALITY HOUSING FOR SUSTAINABLE COMMUNITIES* PUBLISHED BY THE DóEHLG.

#### HOUSE TYPE 'E1'

##### 1 BED OWN DOOR APARTMENT—2 PERSON

FLOOR AREA / ROOM WIDTH REQUIREMENTS*:		
AREAS:		
BEDROOM 1 (MAIN)	PROVIDED: 12.9 M <sup>2</sup>	MIN. REQUIRED: 11.4 M <sup>2</sup>
AGGREGATE LIVING	24.9 M <sup>2</sup>	23 M <sup>2</sup>
AGGREGATE BEDROOM	12.9 M <sup>2</sup>	11.4 M <sup>2</sup>
GROSS STORAGE	4.4 M <sup>2</sup>	3 M <sup>2</sup>
GROSS FLOOR SPACE	55 M <sup>2</sup>	45 M <sup>2</sup>

WIDTHS:		
LIVING / DINING ROOM	PROVIDED: 4.28 M	MIN. REQUIRED: 3.3 M
BEDROOM 1 (DOUBLE)	3.02 M	2.8 M

\*FIGURES TAKEN FROM *QUALITY HOUSING FOR SUSTAINABLE COMMUNITIES* PUBLISHED BY THE DóEHLG FOR 1 BED / 2P APARTMENT.

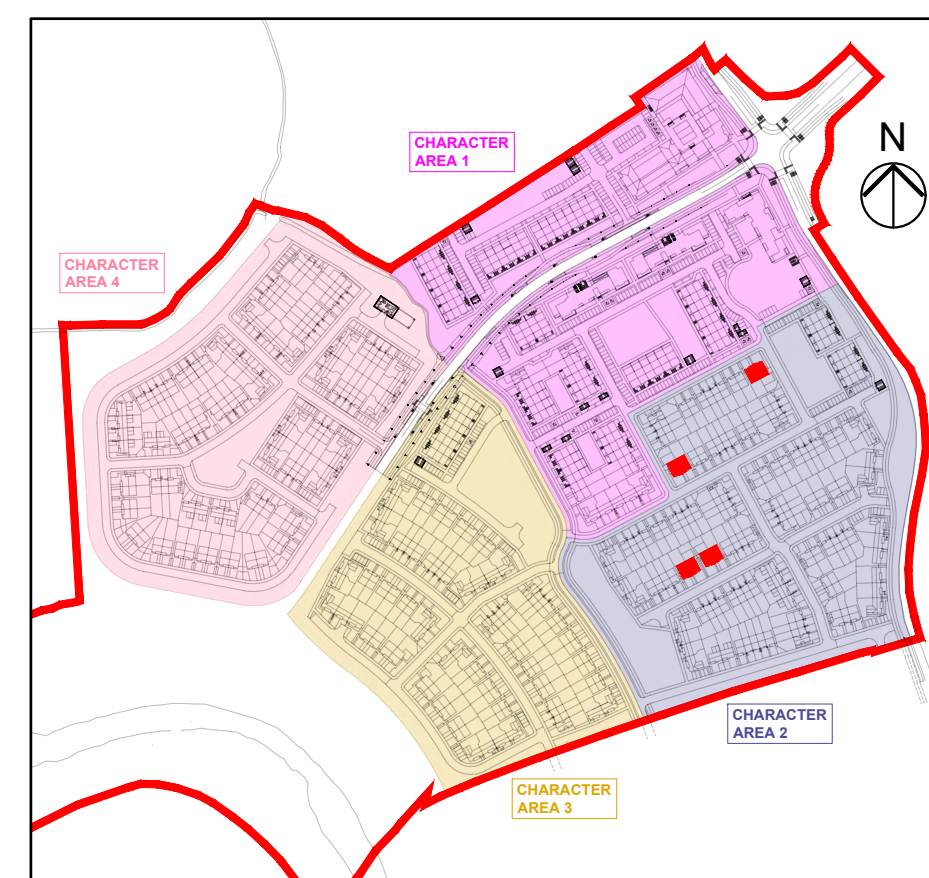
#### HOUSE TYPE 'E2'

##### 1 BED OWN DOOR APARTMENT—2 PERSON

FLOOR AREA / ROOM WIDTH REQUIREMENTS*:		
AREAS:		
BEDROOM 1 (MAIN)	PROVIDED: 12.9 M <sup>2</sup>	MIN. REQUIRED: 11.4 M <sup>2</sup>
AGGREGATE LIVING	24.9 M <sup>2</sup>	23 M <sup>2</sup>
AGGREGATE BEDROOM	12.9 M <sup>2</sup>	11.4 M <sup>2</sup>
GROSS STORAGE	7 M <sup>2</sup>	3 M <sup>2</sup>
GROSS FLOOR SPACE	65.3 M <sup>2</sup>	45 M <sup>2</sup>

WIDTHS:		
LIVING / DINING ROOM	PROVIDED: 4.28 M	MIN. REQUIRED: 3.3 M
BEDROOM 1 (DOUBLE)	3.02 M	2.8 M

FIGURES TAKEN FROM *QUALITY HOUSING FOR SUSTAINABLE COMMUNITIES* PUBLISHED BY THE DóEHLG FOR 1 BED / 2P APARTMENT.



KEY PLAN

## SEMI-DETACHED HOUSE TYPE B1 + OWN DOOR APARTMENTS E1 + E2—CHARACTER AREA 2

#### NOTES:

DO NOT SCALE. USE ONLY FIGURED DIMENSIONS WHICH SHOULD BE CHECKED ON SITE BEFORE WORK COMMENCES.

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REFER TO STRUCTURAL ENGINEER'S DRAWINGS AND SPECIFICATION FOR ALL STRUCTURAL WORK.

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E			M	
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#### LEGEND:

REFER TO THE SITE LAYOUT DRAWING FOR THE ORIENTATION AND FLOOR LEVELS FOR EACH DWELLING.

#### OFA

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RIA  
2021

PROJECT: PROPOSED GREAT CONNELL SHD AT NEWBRIDGE, CO. KILDARE.

TITLE: PROPOSED PLANS, ELEVATIONS & SECTION FOR SEMI-DETACHED HOUSE TYPE B1 + DUAL ELEVATION OWN DOOR APARTMENTS E1 + E2—CHARACTER AREA 2

CLIENT: ASTON LTD.

STAGE: PLANNING

PROJECT NO.: 19070

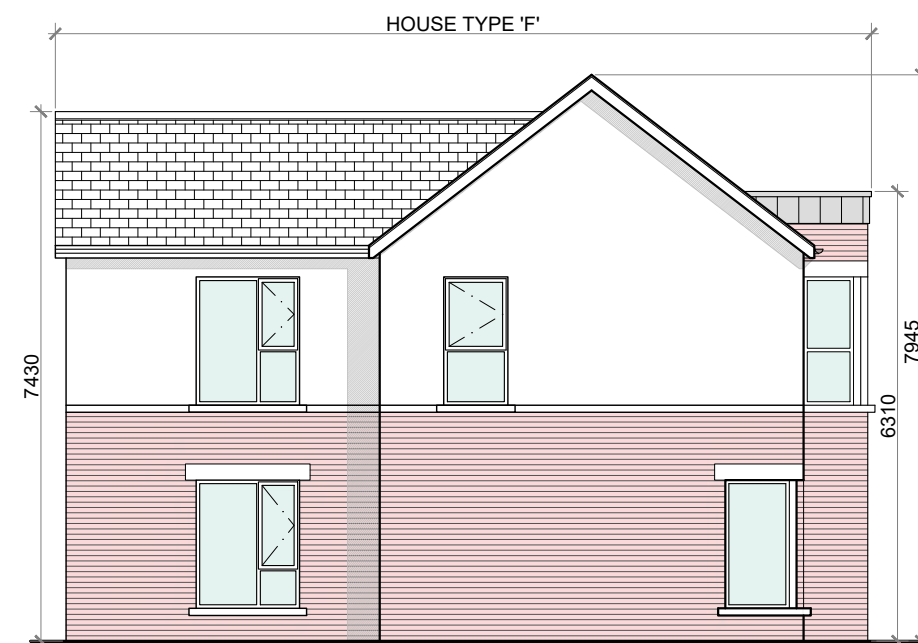
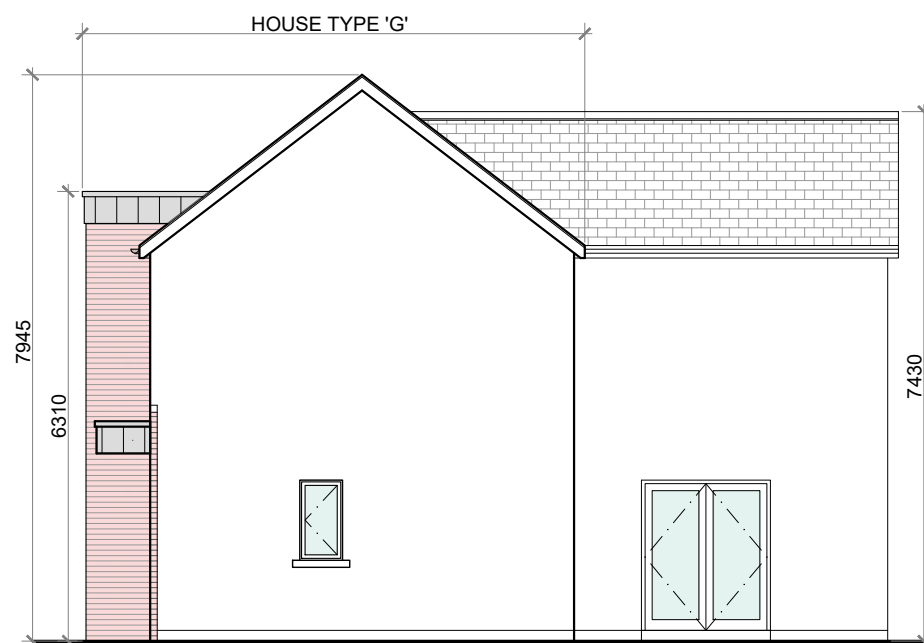
DRG. NO.: PA-036

SCALE: 1:100  
DATE: MARCH 2022

DRAWN: POF  
CHECKED: POF



A1

FRONT ELEVATION @ 1:100  
TYPES 'F' + 'G'SIDE (DUAL FRONTAGE) ELEVATION @ 1:100  
TYPE 'F'SIDE ELEVATION @ 1:100  
TYPE 'G'

## PROPOSED FINISHES:

SLATE / TILED FINISH TO ROOF  
WITH STANDING SEAM ZINC CLAD  
FINISH (OR SIMILAR APPROVED)  
TO FLAT ROOF AREAS &  
ENTRANCE CANOPIES AS  
INDICATED.

UPVC / ALUMINIUM FINISH TO  
FASCIAS, GUTTERS AND  
DOWNPIPES.

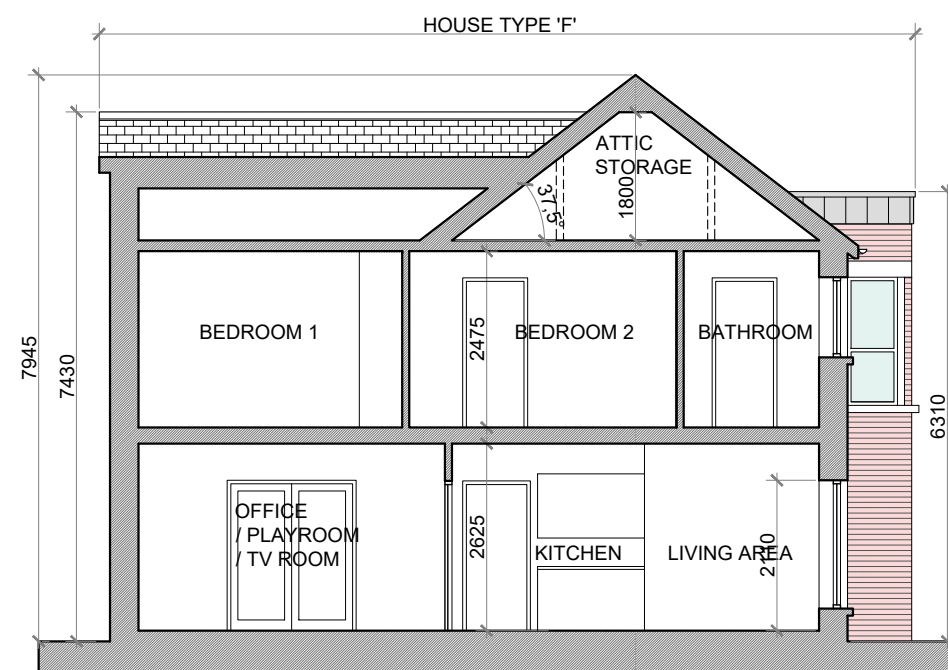
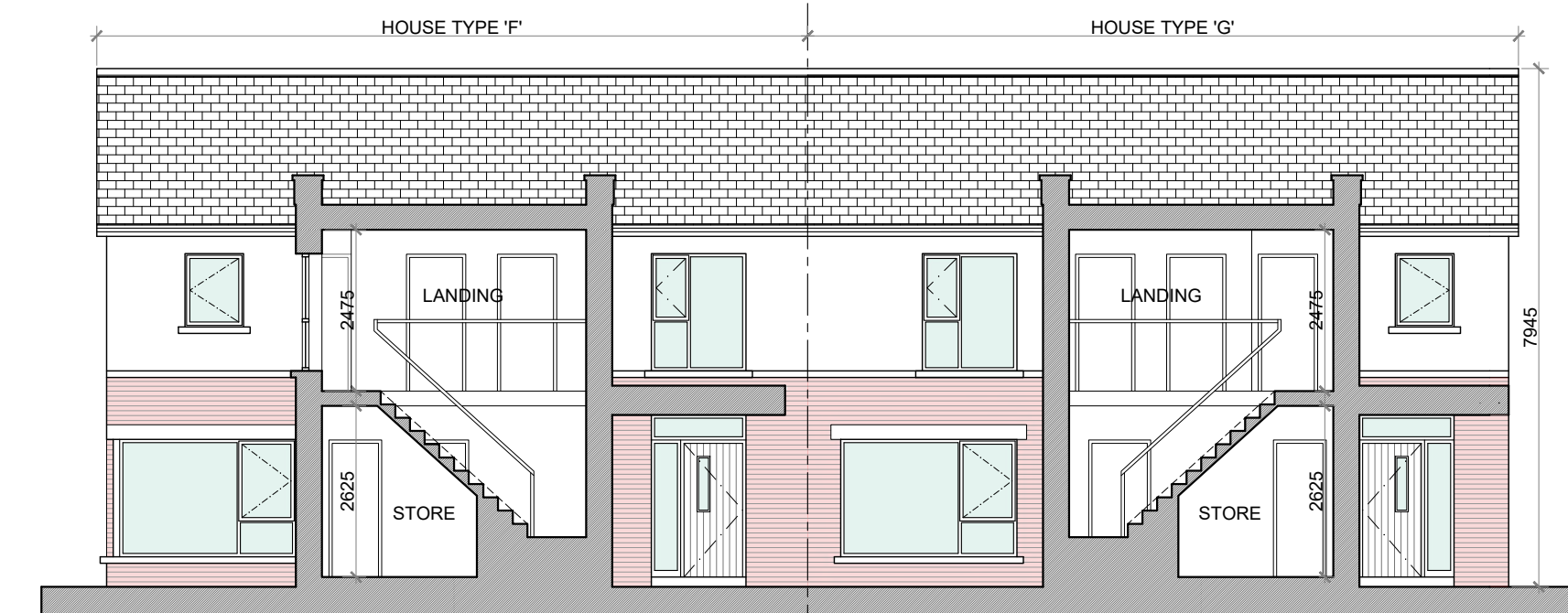
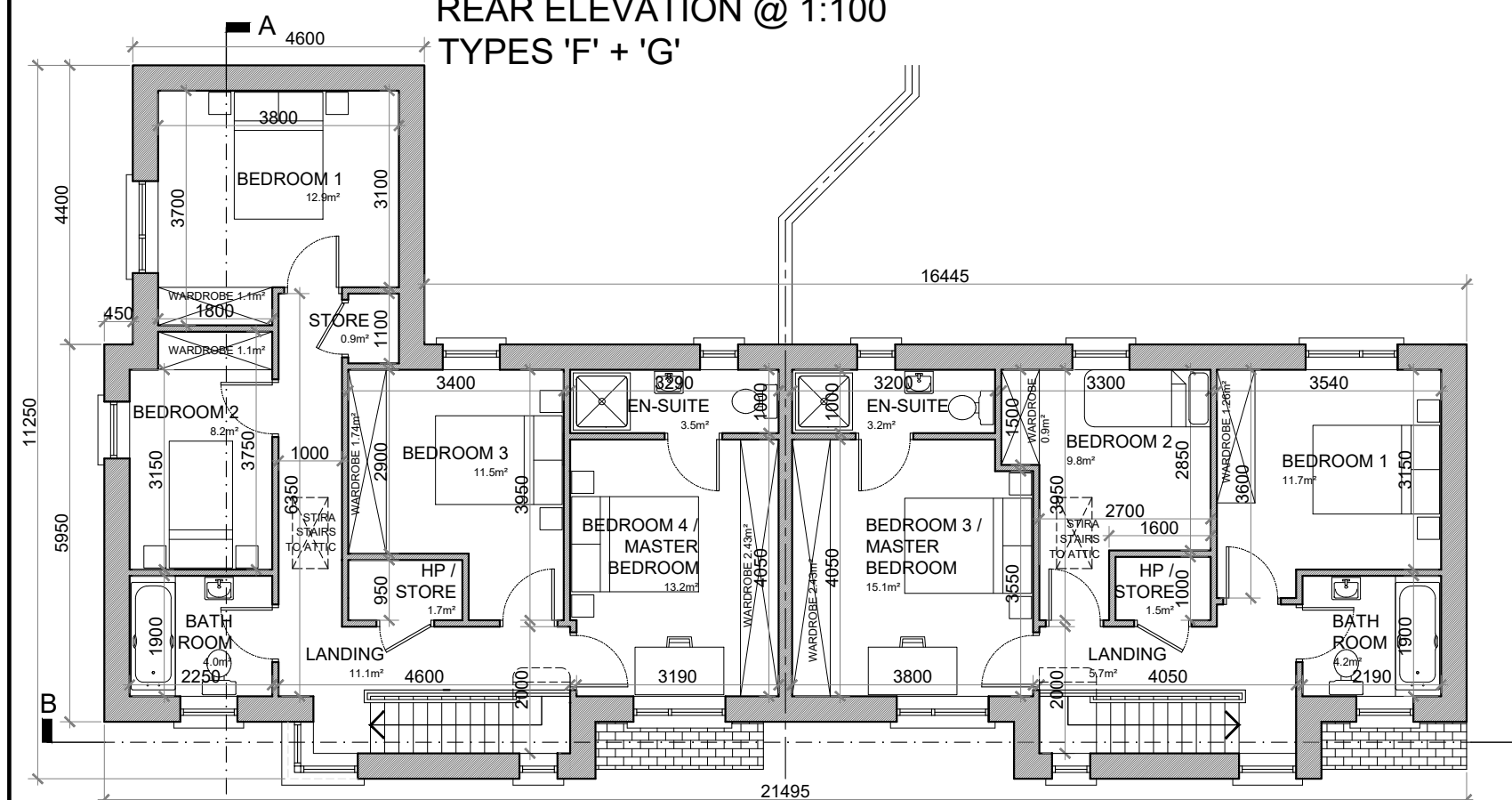
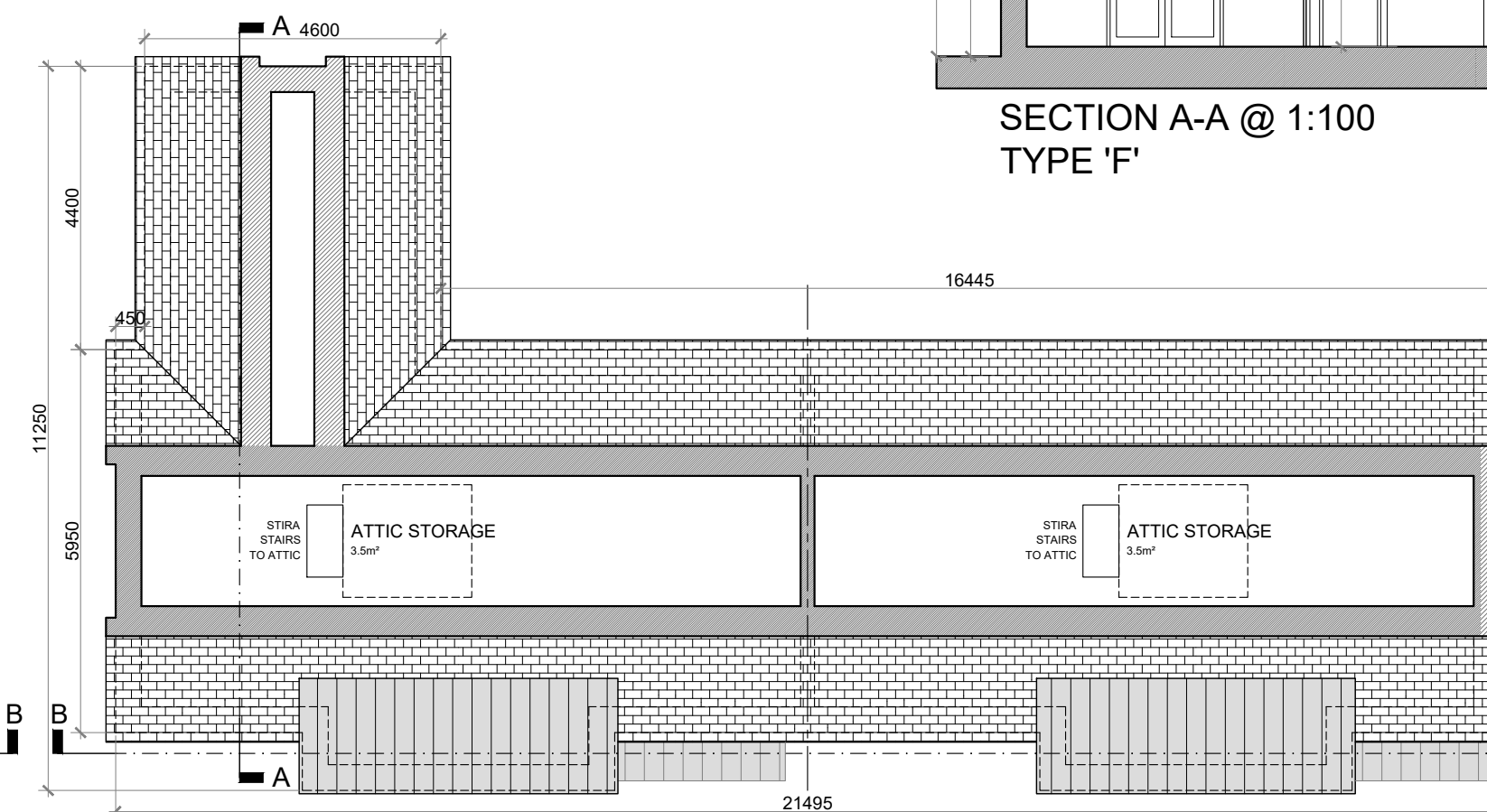
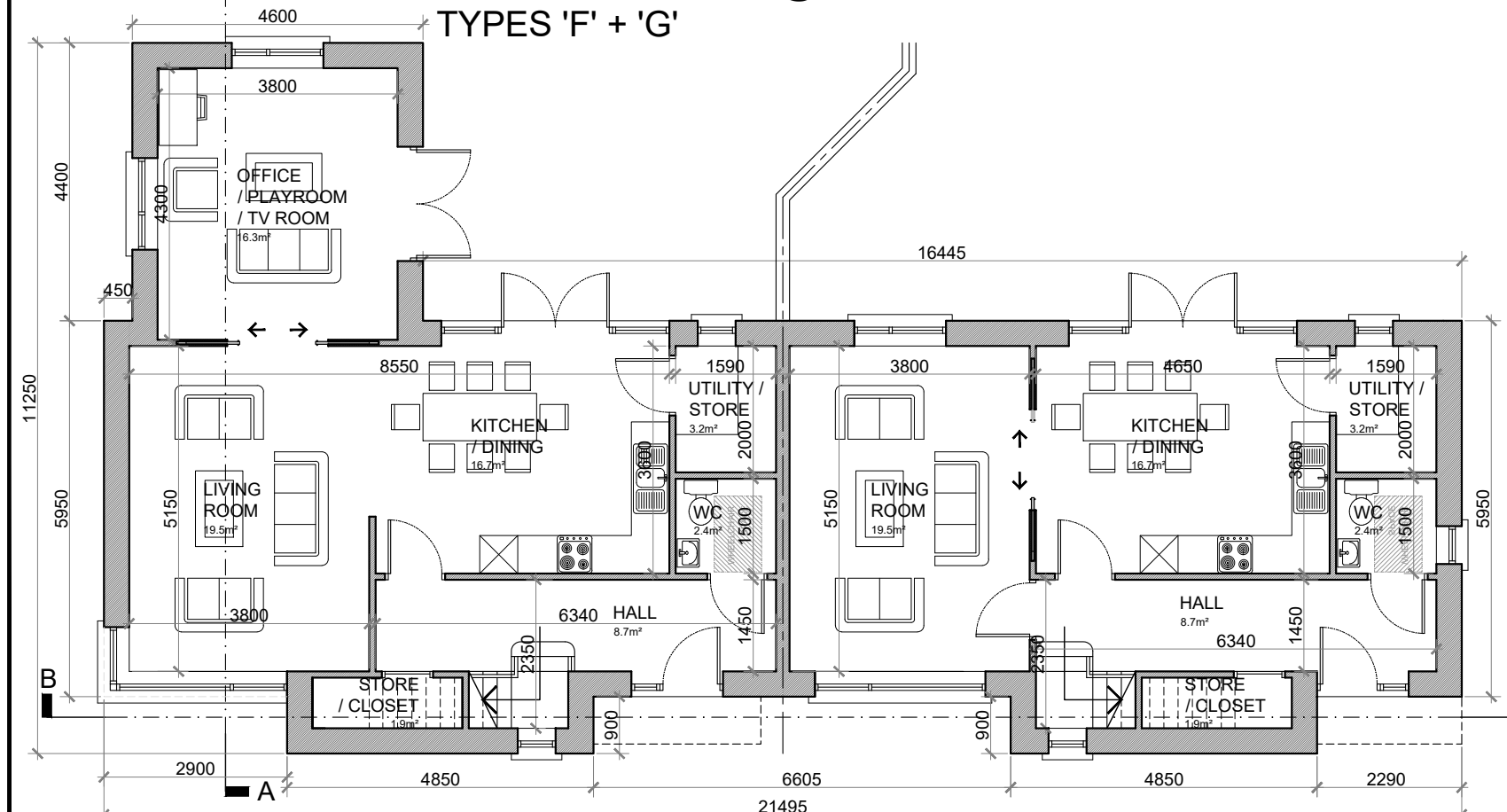
SELECTED BRICK FINISH TO  
AREAS AS INDICATED.

PLASTER / RENDER FINISH TO  
WALLS AS INDICATED.

UPVC / ALUMINIUM / TIMBER FINISH  
TO WINDOWS AND DOORS.

PAINTED CONCRETE / STONE  
SILLS AND CAPPINGS.

PLASTER / RENDER FINISH TO  
PLINTH.

REAR ELEVATION @ 1:100  
TYPES 'F' + 'G'SECTION A-A @ 1:100  
TYPE 'F'SECTION B-B @ 1:100  
TYPES 'F' + 'G'FIRST FLOOR PLAN @ 1:100  
TYPES 'F' + 'G'ATTIC STORAGE PLAN @ 1:100  
TYPES 'F' + 'G'GROUND FLOOR PLAN @ 1:100  
TYPES 'F' + 'G'

**TYPE 'F' FLOOR AREA:**  
GROUND FLOOR AREA: 73.1 SQ.M. (787 SQ.FT.)  
FIRST FLOOR AREA: 73 SQ.M. (787 SQ.FT.)  
TOTAL FLOOR AREA: 146.2 SQ.M. (1,574 SQ.FT.)

**TYPE 'G' FLOOR AREA:**  
GROUND FLOOR AREA: 56.4 SQ.M. (607 SQ.FT.)  
FIRST FLOOR AREA: 56.4 SQ.M. (607 SQ.FT.)  
TOTAL FLOOR AREA: 112.8 SQ.M. (1,214 SQ.FT.)

## HOUSE TYPE 'F'

## 4 BED SEMI-DETACHED—7 PERSON

## FLOOR AREA / ROOM WIDTH REQUIREMENTS\*:

AREAS:	PROVIDED:	MIN. REQUIRED:
MAIN LIVING ROOM	19.5 M <sup>2</sup>	15 M <sup>2</sup>
BEDROOM 1	12.9 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 2	8.2 M <sup>2</sup>	7.1 M <sup>2</sup>
BEDROOM 3	11.5 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 4 (MAIN)	13.2 M <sup>2</sup>	13 M <sup>2</sup>
AGGREGATE LIVING	52.5 M <sup>2</sup>	40 M <sup>2</sup>
AGGREGATE BEDROOM	45.8 M <sup>2</sup>	43 M <sup>2</sup>
GROSS STORAGE	11.2 M <sup>2</sup>	6 M <sup>2</sup> (KCC 10 M <sup>2</sup> )
GROSS FLOOR SPACE	146.2 M <sup>2</sup>	110 M <sup>2</sup> (KCC 110 M <sup>2</sup> )

WIDTHS:	PROVIDED:	MIN. REQUIRED:
LIVING ROOM	3.8 M	3.8 M
BEDROOM 1 (DOUBLE)	3.1 M	2.8 M
BEDROOM 2 (SINGLE)	2.25 M	2.1 M
BEDROOM 3 (DOUBLE)	2.9 M	2.8 M
BEDROOM 4 (DOUBLE)	3.19 M	2.8 M

\*FIGURES TAKEN FROM **QUALITY HOUSING FOR SUSTAINABLE COMMUNITIES** PUBLISHED BY THE DOEHLG.

## HOUSE TYPE 'G'

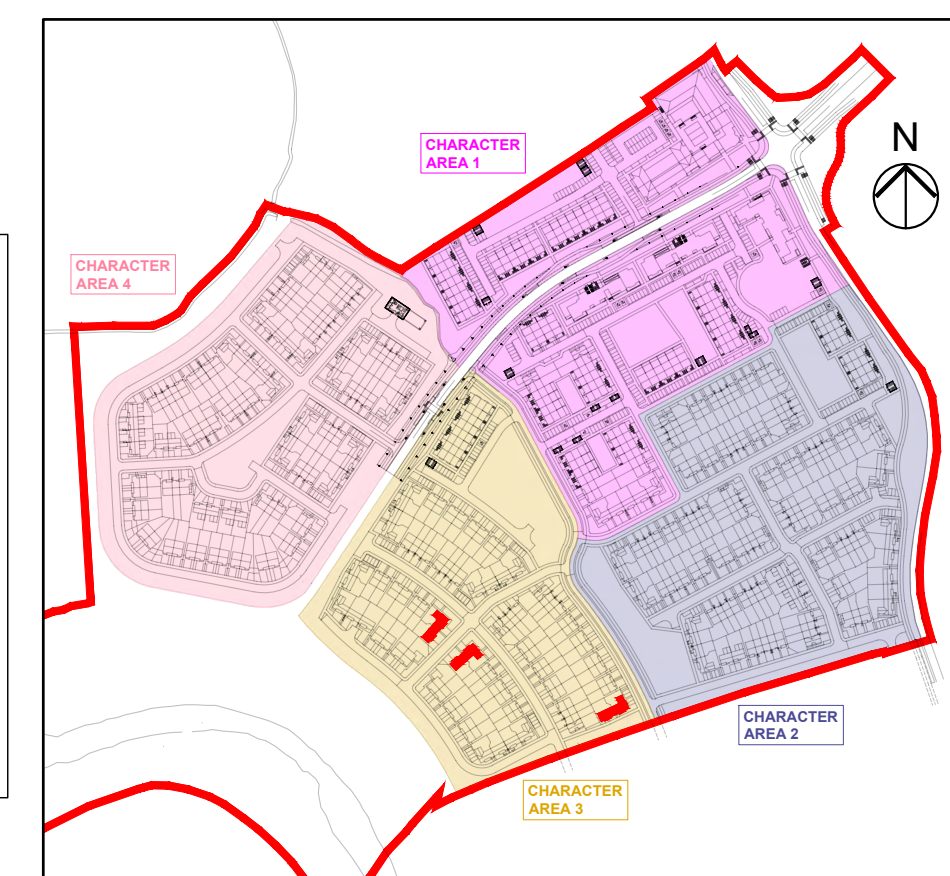
## 3 BED SEMI-DETACHED—5 PERSON

## FLOOR AREA / ROOM WIDTH REQUIREMENTS\*:

AREAS:	PROVIDED:	MIN. REQUIRED:
MAIN LIVING ROOM	19.5 M <sup>2</sup>	15 M <sup>2</sup>
BEDROOM 1	11.7 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 2	9.8 M <sup>2</sup>	7.1 M <sup>2</sup>
BEDROOM 3 (MAIN)	13.9 M <sup>2</sup>	13 M <sup>2</sup>
AGGREGATE LIVING	36.2 M <sup>2</sup>	34 M <sup>2</sup>
AGGREGATE BEDROOM	35.4 M <sup>2</sup>	32 M <sup>2</sup>
GROSS STORAGE	10.1 M <sup>2</sup>	5 M <sup>2</sup> (KCC 9 M <sup>2</sup> )
GROSS FLOOR SPACE	112.8 M <sup>2</sup>	92 M <sup>2</sup> (KCC 100 M <sup>2</sup> )

WIDTHS:	PROVIDED:	MIN. REQUIRED:
LIVING ROOM	3.8 M	3.8 M
BEDROOM 1 (DOUBLE)	3.15 M	2.8 M
BEDROOM 2 (SINGLE)	2.7 M	2.1 M
BEDROOM 3 (DOUBLE)	3.550 M	2.8 M

\*FIGURES TAKEN FROM **QUALITY HOUSING FOR SUSTAINABLE COMMUNITIES** PUBLISHED BY THE DOEHLG.



KEY PLAN

## SEMI-DETACHED HOUSE TYPES F + G—CHARACTER AREA 3

## NOTES:

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REFER TO STRUCTURAL ENGINEER'S DRAWINGS AND SPECIFICATION FOR ALL STRUCTURAL WORK.

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## DATE:

## LEGEND:

REFER TO THE SITE LAYOUT DRAWING FOR THE ORIENTATION AND FLOOR LEVELS FOR EACH DWELLING .

## OFA

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**RIA**  
Practice  
Member  
2021

PROJECT: PROPOSED GREAT CONNELL SHD AT NEWBRIDGE, CO. KILDARE.

TITLE: PROPOSED PLANS, ELEVATIONS & SECTIONS FOR SEMI-DETACHED HOUSE TYPES 'F' (DUAL) & 'G'—CHARACTER AREA 3.

CLIENT: ASTON LTD.

STAGE: PLANNING

PROJECT NO.: 19070

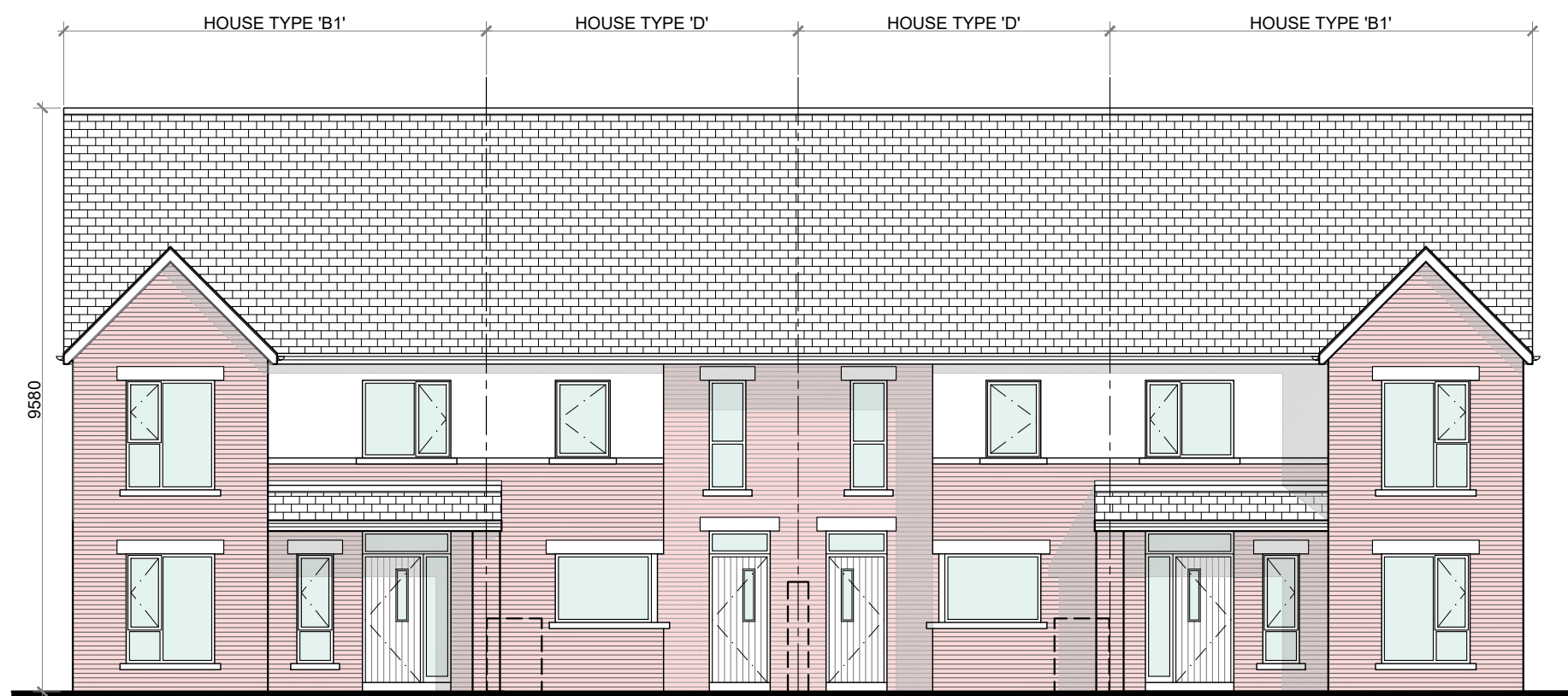
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DATE: MARCH 2022

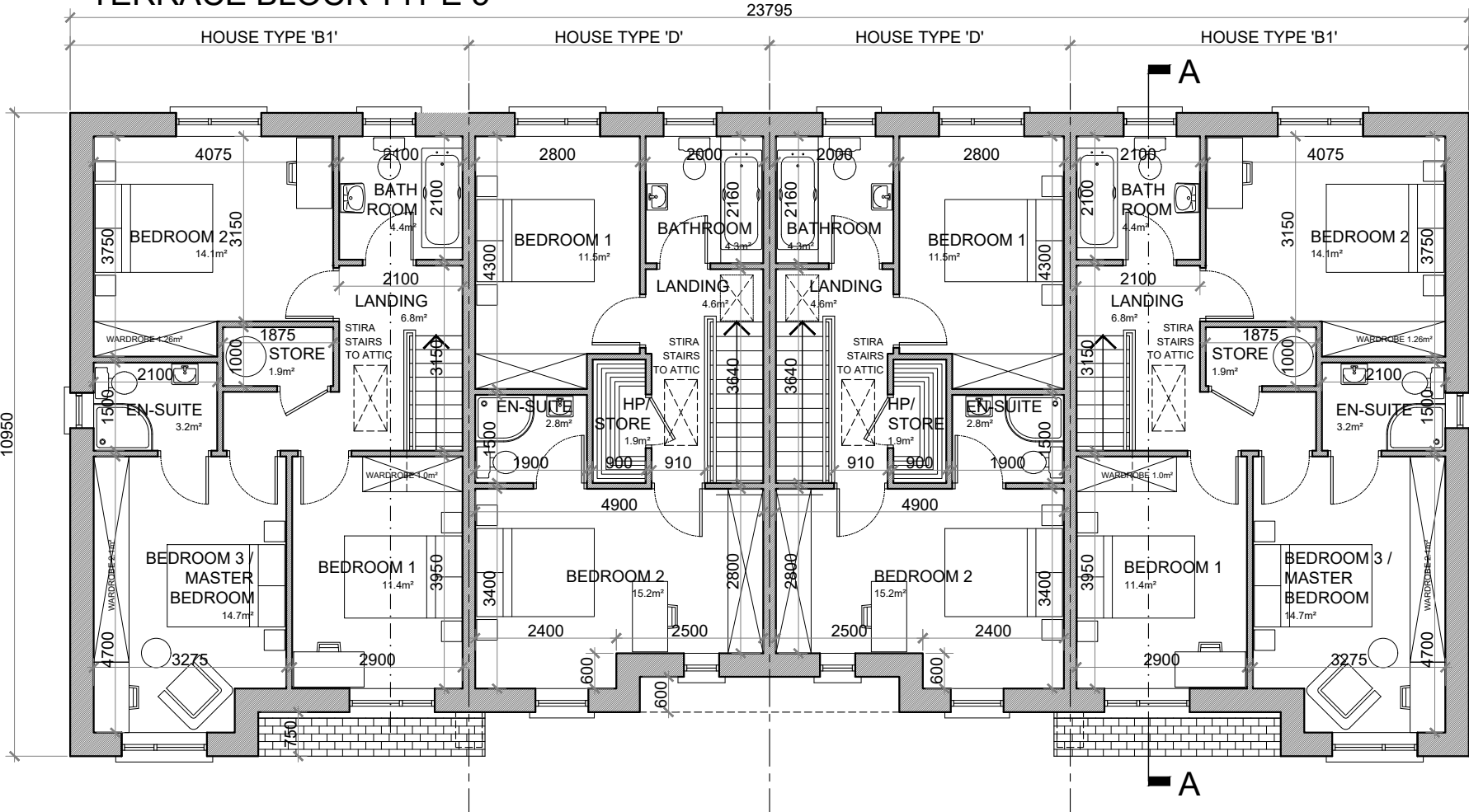
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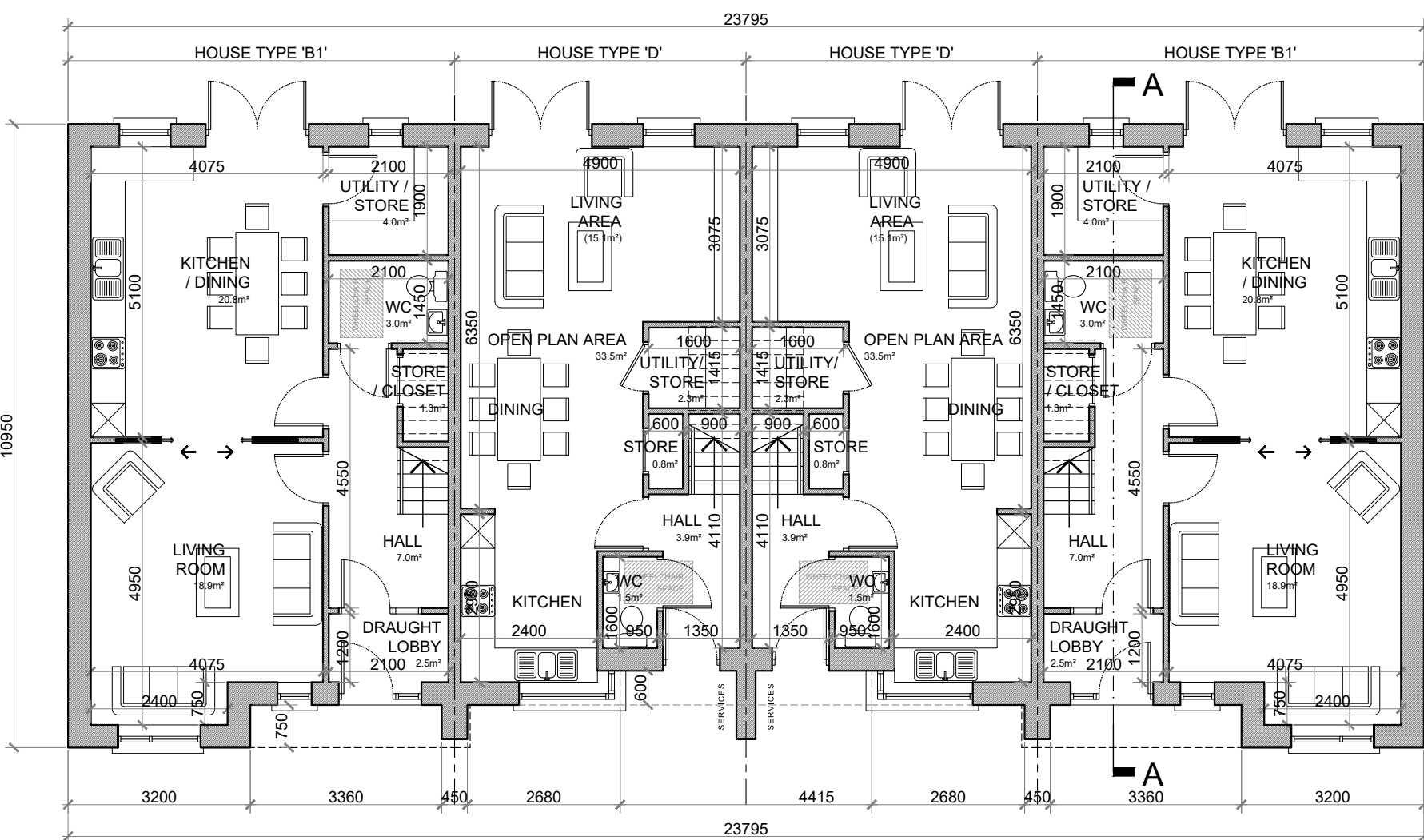
A1



FRONT ELEVATION @ 1:100  
TERRACE BLOCK TYPE 5



FIRST FLOOR PLAN @ 1:100  
TERRACE BLOCK TYPE 5



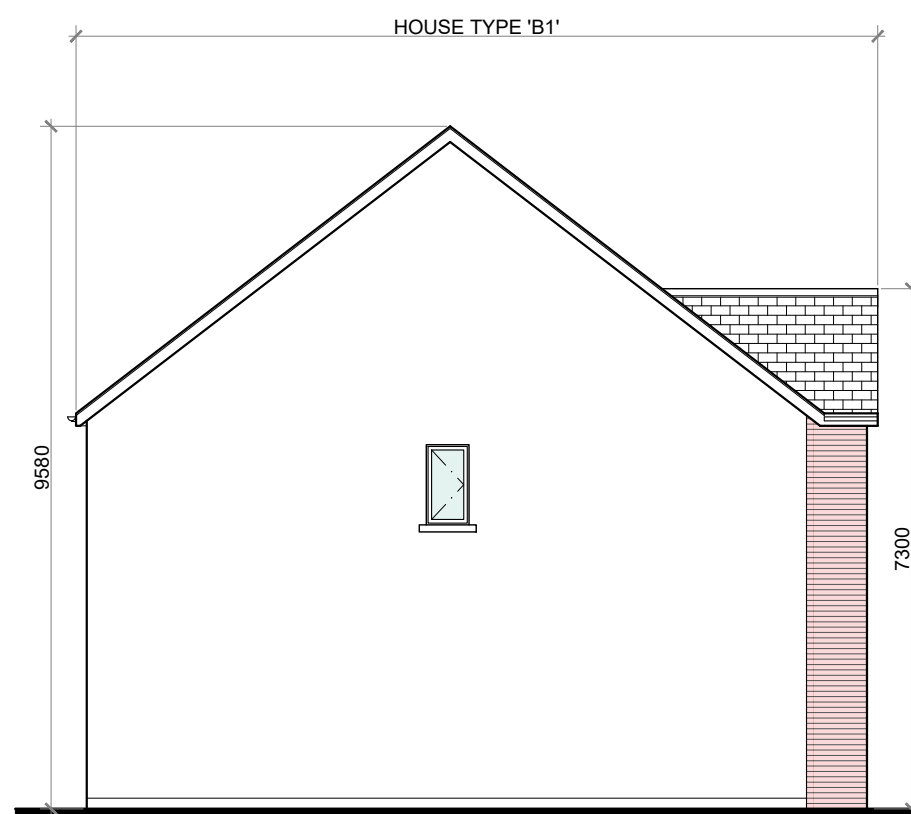
GROUND FLOOR PLAN @ 1:100  
TERRACE BLOCK TYPE 5

#### HOUSE TYPE 'B1'

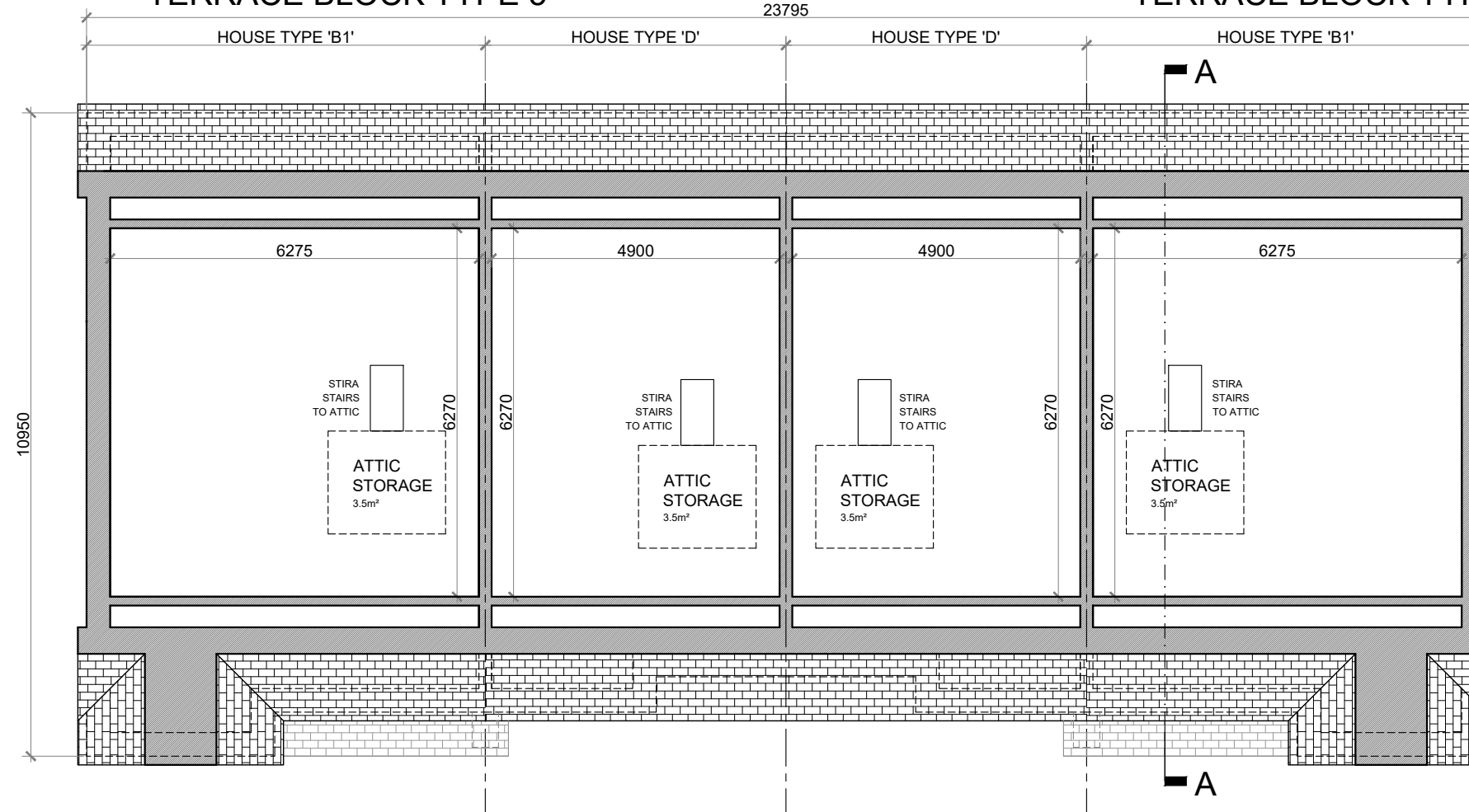
GROUND FLOOR AREA: 60.8 SQ.M. (654.5 SQ.FT.)  
FIRST FLOOR AREA: 60.8 SQ.M. (654.5 SQ.FT.)  
TOTAL FLOOR AREA: 121.6 SQ.M. (1,309 SQ.FT.)

#### HOUSE TYPE 'D'

GROUND FLOOR AREA: 44.6 SQ.M. (480 SQ.FT.)  
FIRST FLOOR AREA: 44.6 SQ.M. (480 SQ.FT.)  
TOTAL FLOOR AREA: 89.2 SQ.M. (960 SQ.FT.)



SIDE ELEVATION @ 1:100  
TERRACE BLOCK TYPE 5



ATTIC STORAGE PLAN @ 1:100  
TERRACE BLOCK TYPE 5

#### HOUSE TYPE 'B1':

##### 3 BED TERRACE—6 PERSON

##### FLOOR AREA / ROOM WIDTH REQUIREMENTS\*:

AREAS:	PROVIDED:	MIN. REQUIRED:
MAIN LIVING ROOM	18.9 M <sup>2</sup>	15 M <sup>2</sup>
BEDROOM 1	11.4 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 2	14.1 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 3 (MAIN)	14.7 M <sup>2</sup>	13 M <sup>2</sup>
AGGREGATE LIVING	39.7 M <sup>2</sup>	37 M <sup>2</sup>
AGGREGATE BEDROOM	40.2 M <sup>2</sup>	36 M <sup>2</sup>
GROSS STORAGE	10.7 M <sup>2</sup>	6 M <sup>2</sup> (KCC 6 M <sup>2</sup> )
GROSS FLOOR SPACE	121.6 M <sup>2</sup>	100 M <sup>2</sup> (KCC 100 M <sup>2</sup> )

WIDTHS:	PROVIDED:	MIN. REQUIRED:
LIVING ROOM	4.075 M	3.8 M
BEDROOM 1 (DOUBLE)	2.9 M	2.8 M
BEDROOM 2 (DOUBLE)	3.15 M	2.8 M
BEDROOM 3 (DOUBLE)	3.275 M	2.8 M

\*FIGURES TAKEN FROM *QUALITY HOUSING FOR SUSTAINABLE COMMUNITIES* PUBLISHED BY THE DOEHLG.

#### HOUSE TYPE 'D':

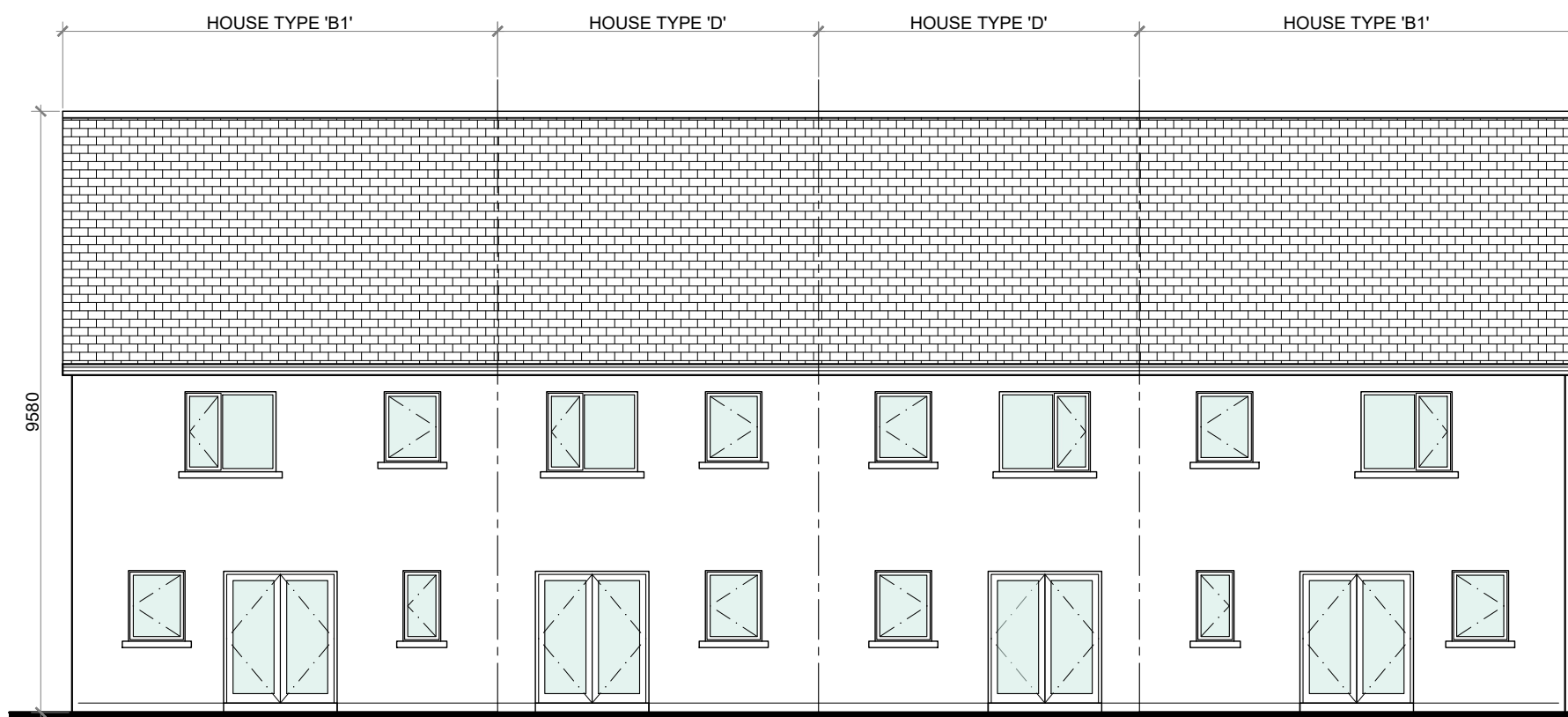
##### 2 BED TERRACE—4 PERSON

##### FLOOR AREA / ROOM WIDTH REQUIREMENTS\*:

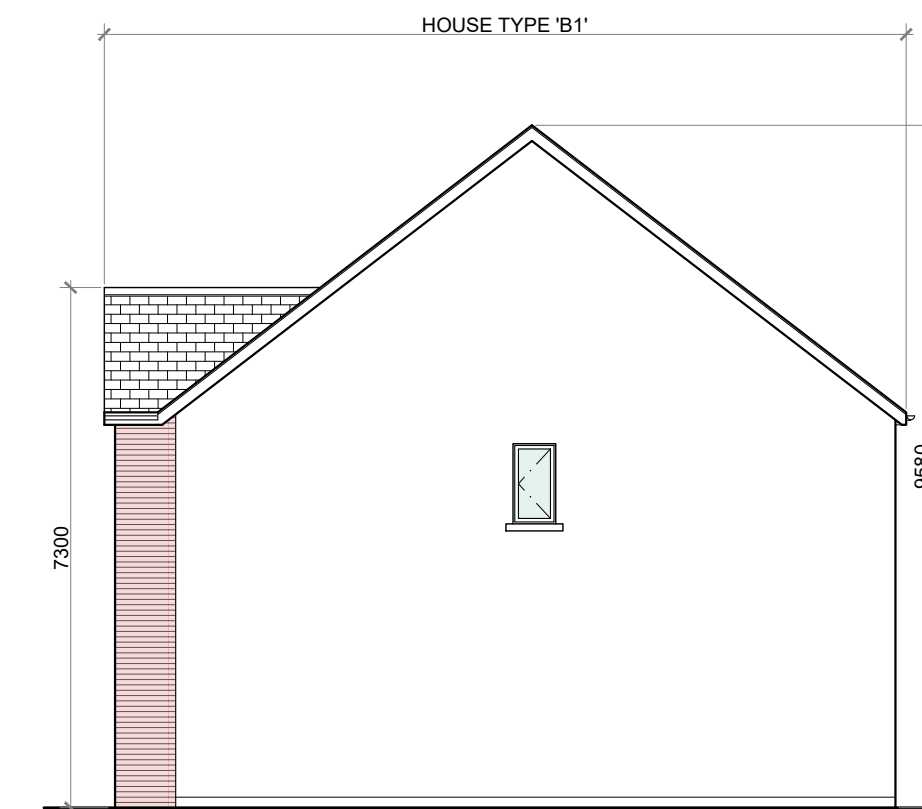
AREAS:	PROVIDED:	MIN. REQUIRED:
MAIN LIVING ROOM	15.1 M <sup>2</sup>	13 M <sup>2</sup>
BEDROOM 1	11.5 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 2 (MAIN)	15.2 M <sup>2</sup>	13 M <sup>2</sup>
AGGREGATE LIVING	33.5 M <sup>2</sup>	30 M <sup>2</sup>
AGGREGATE BEDROOM	26.7 M <sup>2</sup>	25 M <sup>2</sup>
GROSS STORAGE	8.5 M <sup>2</sup>	4 M <sup>2</sup> (KCC 4 M <sup>2</sup> )
GROSS FLOOR SPACE	89.2 M <sup>2</sup>	80 M <sup>2</sup> (KCC 80 M <sup>2</sup> )

WIDTHS:	PROVIDED:	MIN. REQUIRED:
LIVING ROOM (OPEN PLAN)	4.9 M	3.6 M
BEDROOM 1 (DOUBLE)	2.9 M	2.8 M
BEDROOM 2 (DOUBLE)	2.8 M	2.8 M

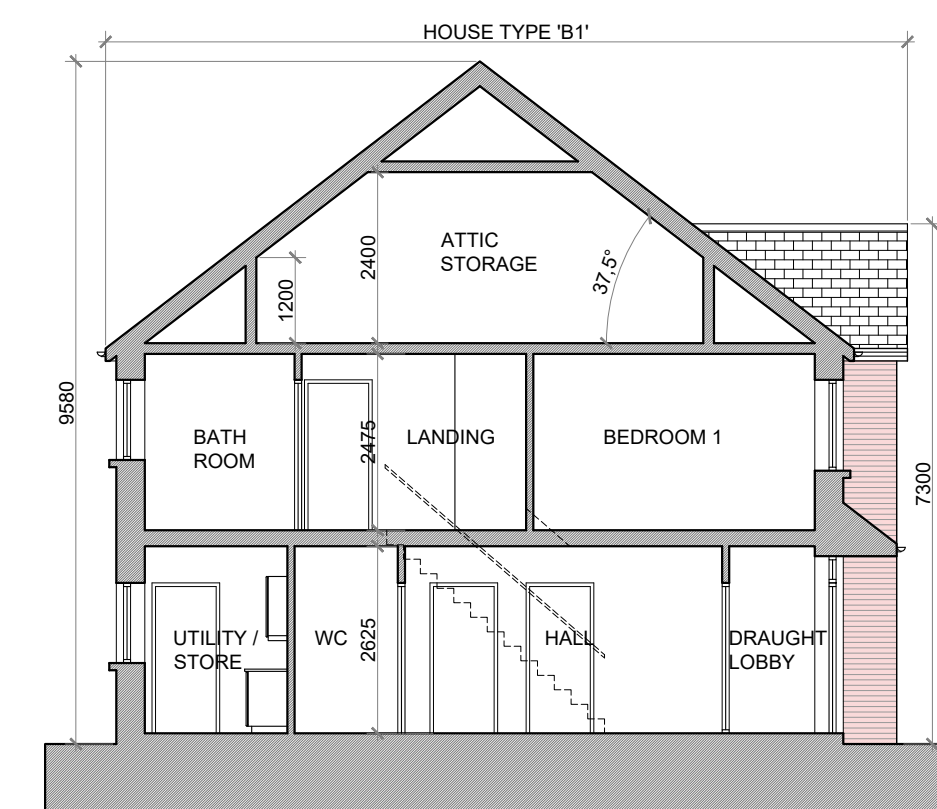
\*FIGURES TAKEN FROM *QUALITY HOUSING FOR SUSTAINABLE COMMUNITIES* PUBLISHED BY THE DOEHLG.



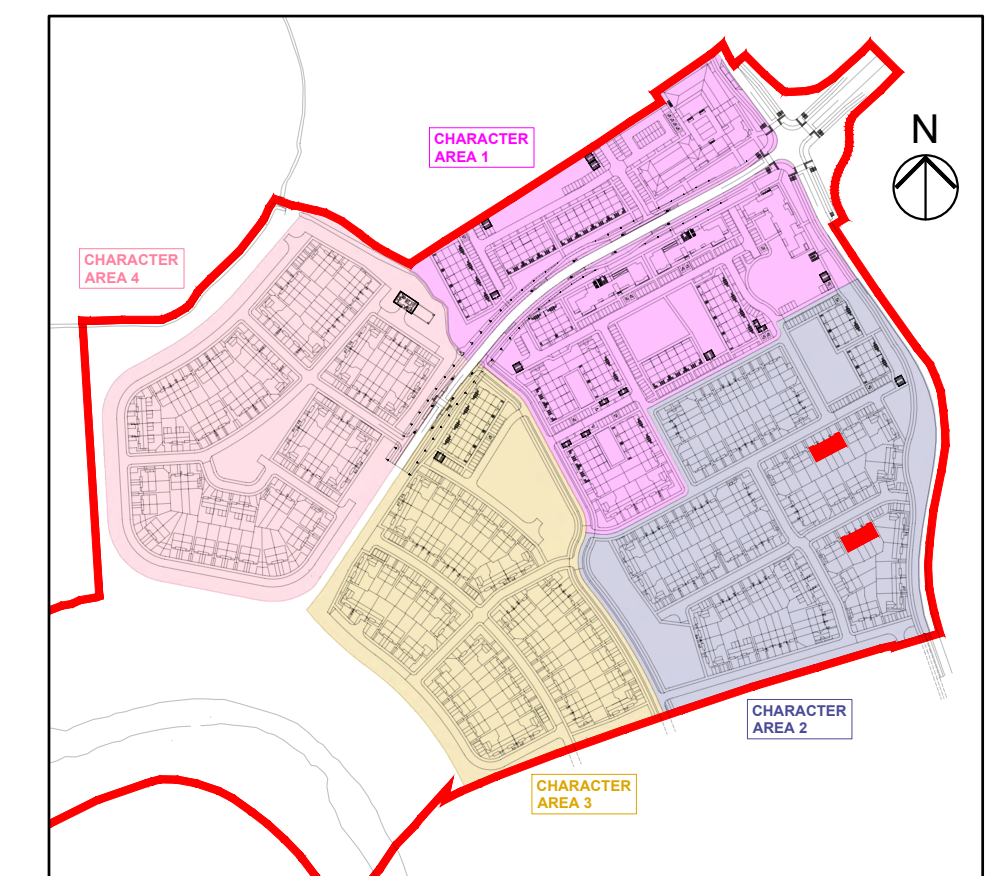
REAR ELEVATION @ 1:100  
TERRACE BLOCK TYPE 5



SIDE ELEVATION @ 1:100  
TERRACE BLOCK TYPE 5



SECTION A-A @ 1:100  
TERRACE BLOCK TYPE 5



KEY PLAN

TERRACE BLOCK TYPE 5—CHARACTER AREA 2

#### NOTES:

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#### DATE:


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EMAIL: info@ofynarchitects.ie  
WEB: www.ofynarchitects.ie

RIA  
2021

PROJECT: PROPOSED GREAT CONNELL SHD AT NEWBRIDGE, CO. KILDARE.

TITLE: PROPOSED PLANS, ELEVATIONS & SECTION FOR TERRACE BLOCK TYPE 5—CHARACTER AREA 2.

CLIENT: ASTON LTD.

STAGE: PLANNING

PROJECT NO.: 19070

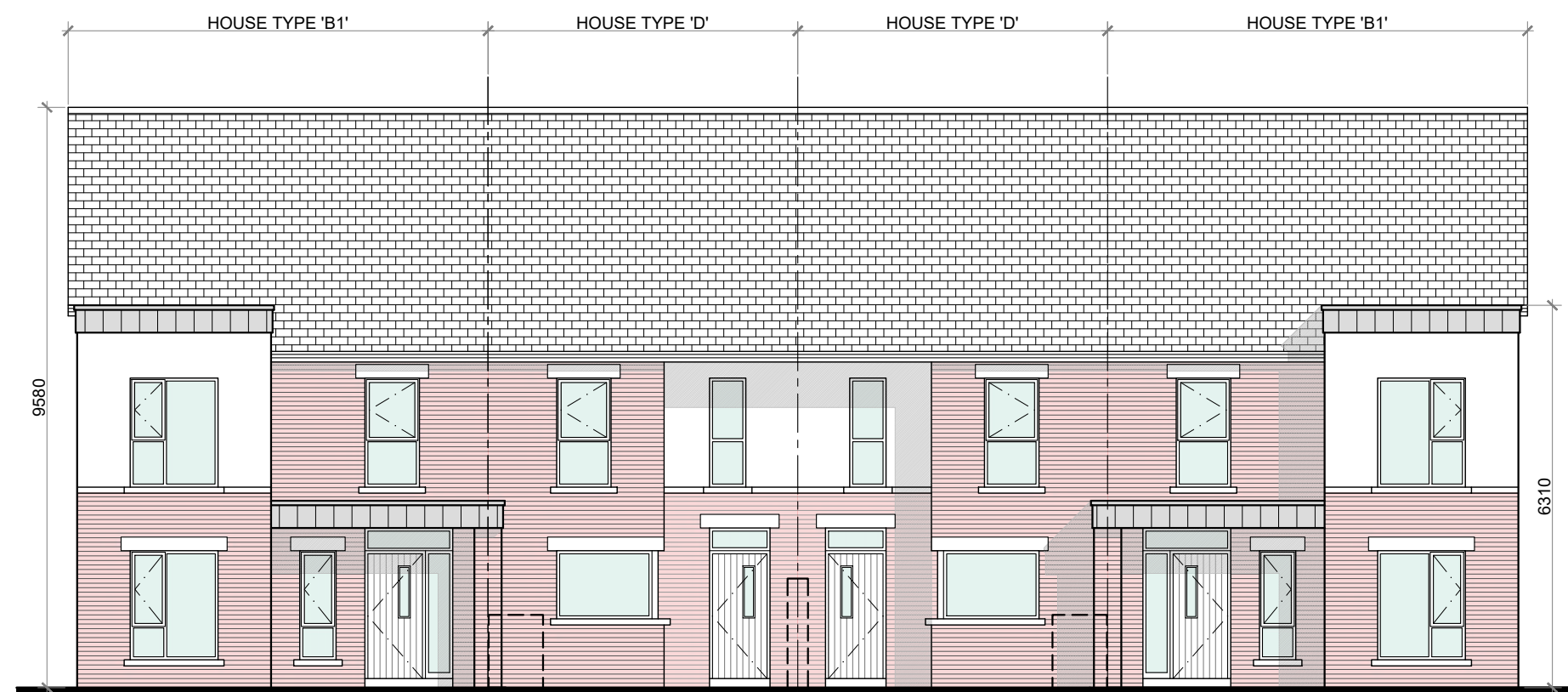
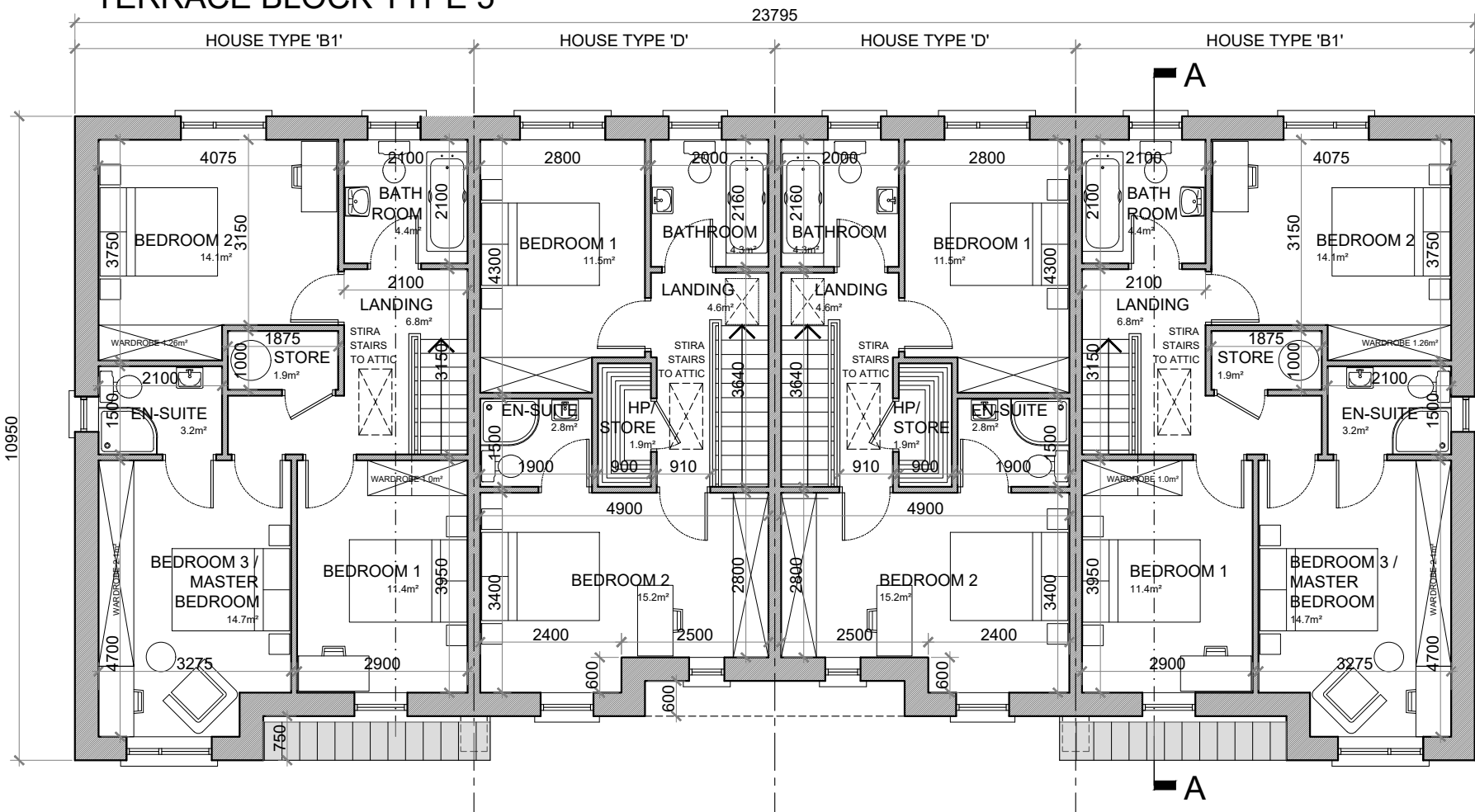
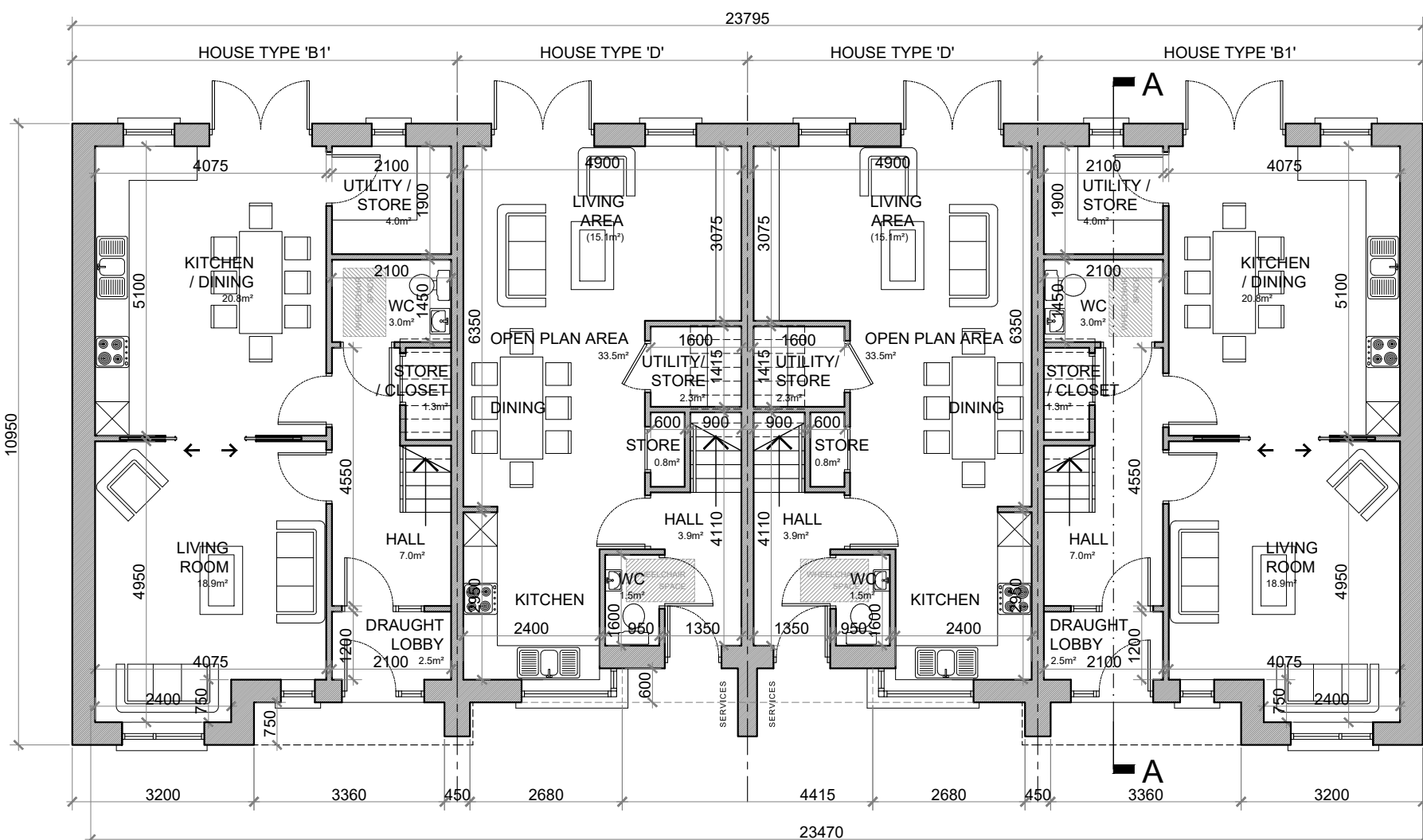
DRG. NO.: PA-064

SCALE: 1:100  
DATE: MARCH 2022

DRAWN: POF  
CHECKED: POF



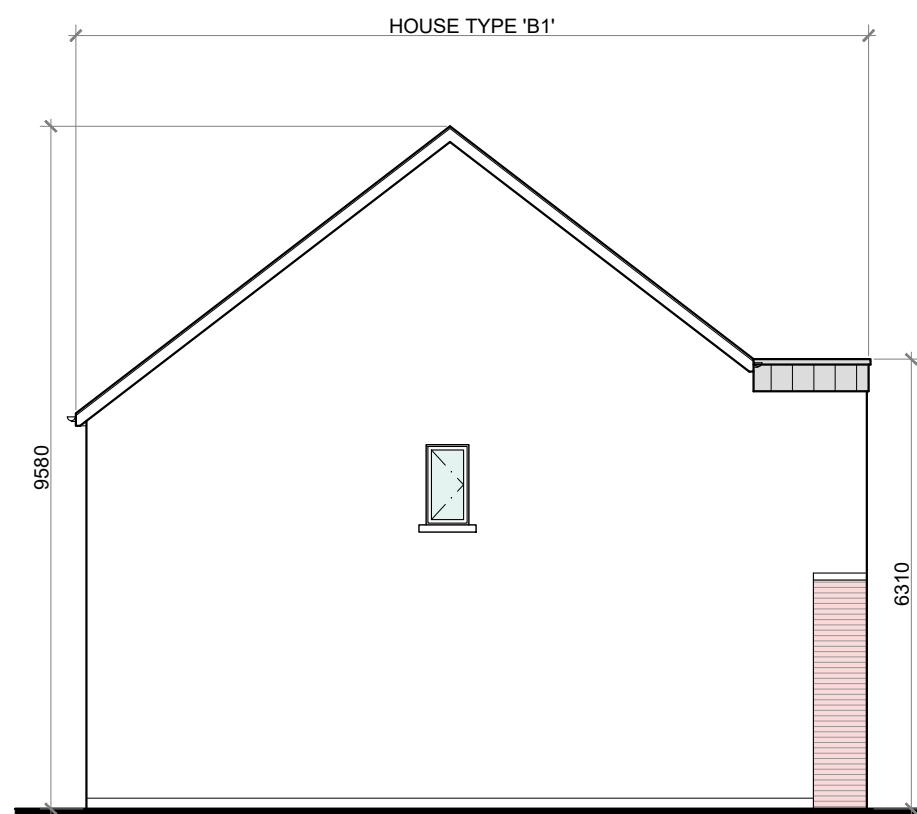
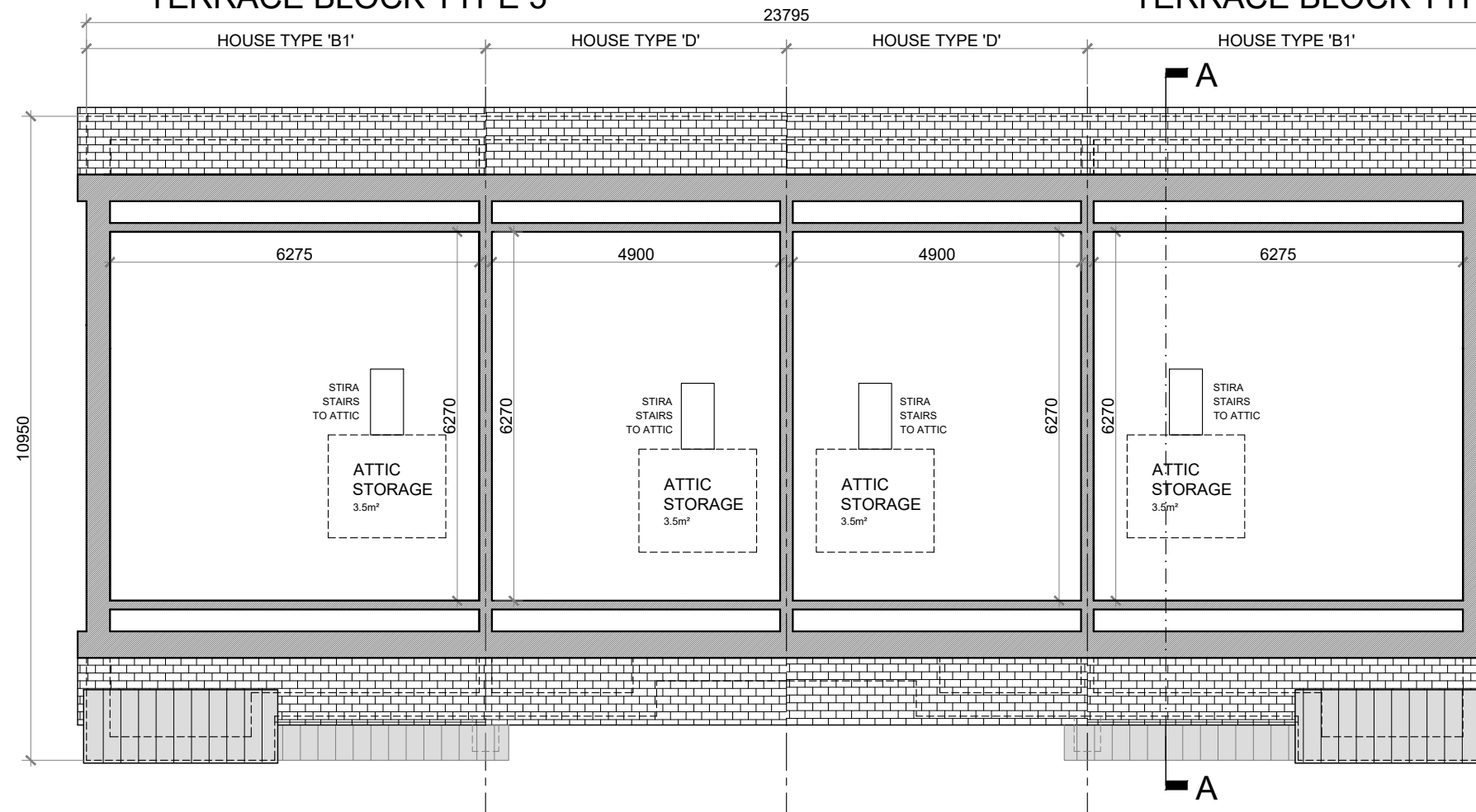
A1

FRONT ELEVATION @ 1:100  
TERRACE BLOCK TYPE 5FIRST FLOOR PLAN @ 1:100  
TERRACE BLOCK TYPE 5GROUND FLOOR PLAN @ 1:100  
TERRACE BLOCK TYPE 5

## HOUSE TYPE 'B1'

GROUND FLOOR AREA: 60.8 SQ.M. (654.5 SQ.FT.)  
FIRST FLOOR AREA: 60.8 SQ.M. (654.5 SQ.FT.)  
TOTAL FLOOR AREA: 121.6 SQ.M. (1,309 SQ.FT.)

## HOUSE TYPE 'D'

GROUND FLOOR AREA: 44.6 SQ.M. (480 SQ.FT.)  
FIRST FLOOR AREA: 44.6 SQ.M. (480 SQ.FT.)  
TOTAL FLOOR AREA: 89.2 SQ.M. (960 SQ.FT.)SIDE ELEVATION @ 1:100  
TERRACE BLOCK TYPE 5ATTIC STORAGE PLAN @ 1:100  
TERRACE BLOCK TYPE 5

## HOUSE TYPE 'B1':

## 3 BED TERRACE—6 PERSON

## FLOOR AREA / ROOM WIDTH REQUIREMENTS\*:

AREAS:	PROVIDED:	MIN. REQUIRED:
MAIN LIVING ROOM	18.9 M <sup>2</sup>	15 M <sup>2</sup>
BEDROOM 1	11.4 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 2	14.1 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 3 (MAIN)	14.7 M <sup>2</sup>	13 M <sup>2</sup>
AGGREGATE LIVING	39.7 M <sup>2</sup>	37 M <sup>2</sup>
AGGREGATE BEDROOM	40.2 M <sup>2</sup>	36 M <sup>2</sup>
GROSS STORAGE	10.7 M <sup>2</sup>	6 M <sup>2</sup> (KCC 6 M <sup>2</sup> )
GROSS FLOOR SPACE	121.6 M <sup>2</sup>	100 M <sup>2</sup> (KCC 100 M <sup>2</sup> )

WIDTHS:	PROVIDED:	MIN. REQUIRED:
LIVING ROOM	4.075 M	3.8 M
BEDROOM 1 (DOUBLE)	2.9 M	2.8 M
BEDROOM 2 (DOUBLE)	3.15 M	2.8 M
BEDROOM 3 (DOUBLE)	3.275 M	2.8 M

\*FIGURES TAKEN FROM *QUALITY HOUSING FOR SUSTAINABLE COMMUNITIES* PUBLISHED BY THE DOEHLG.

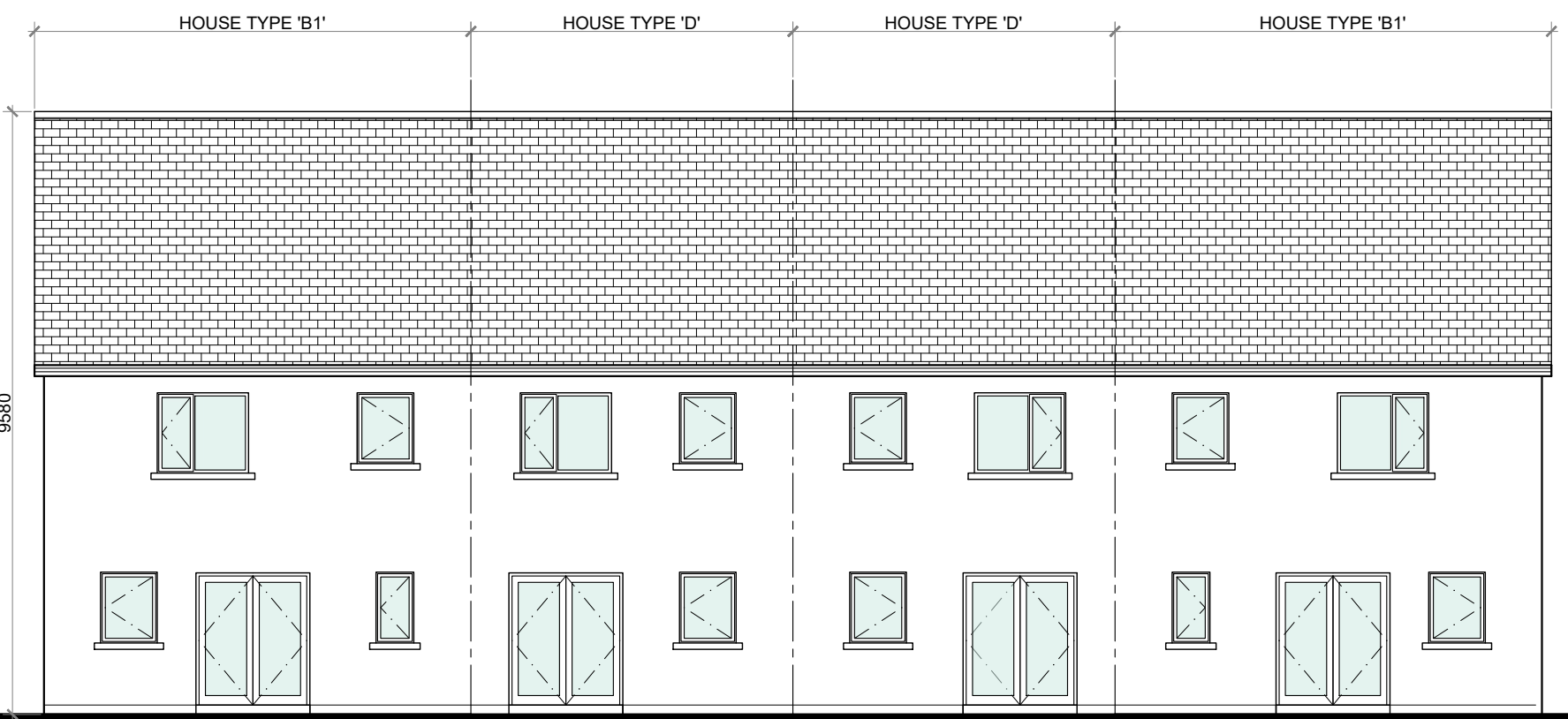
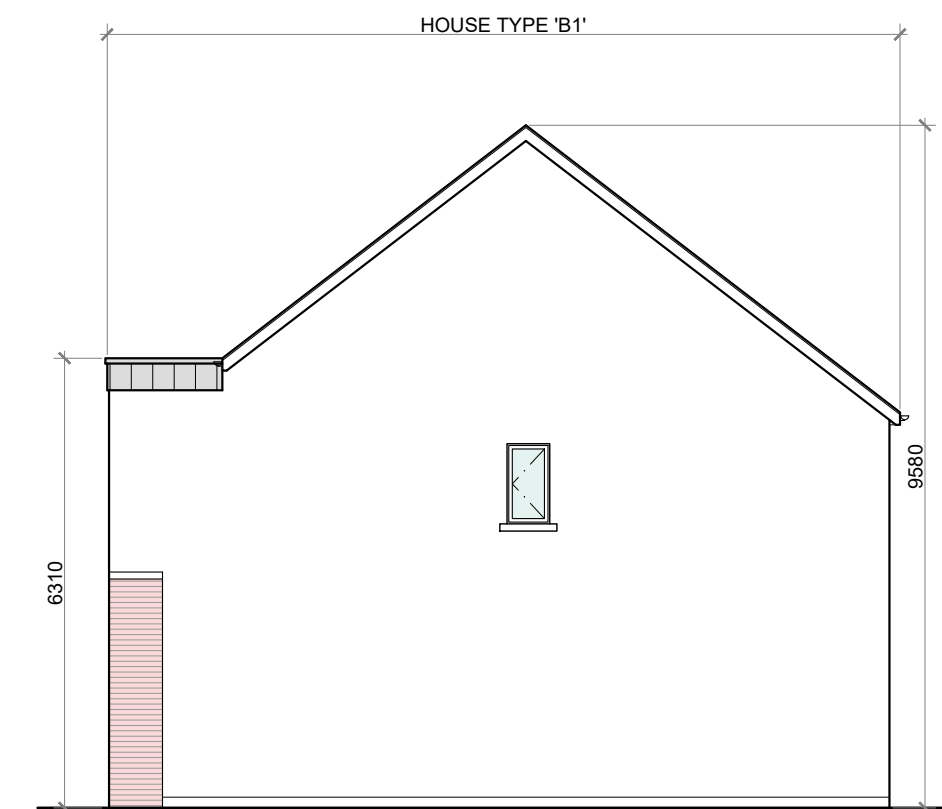
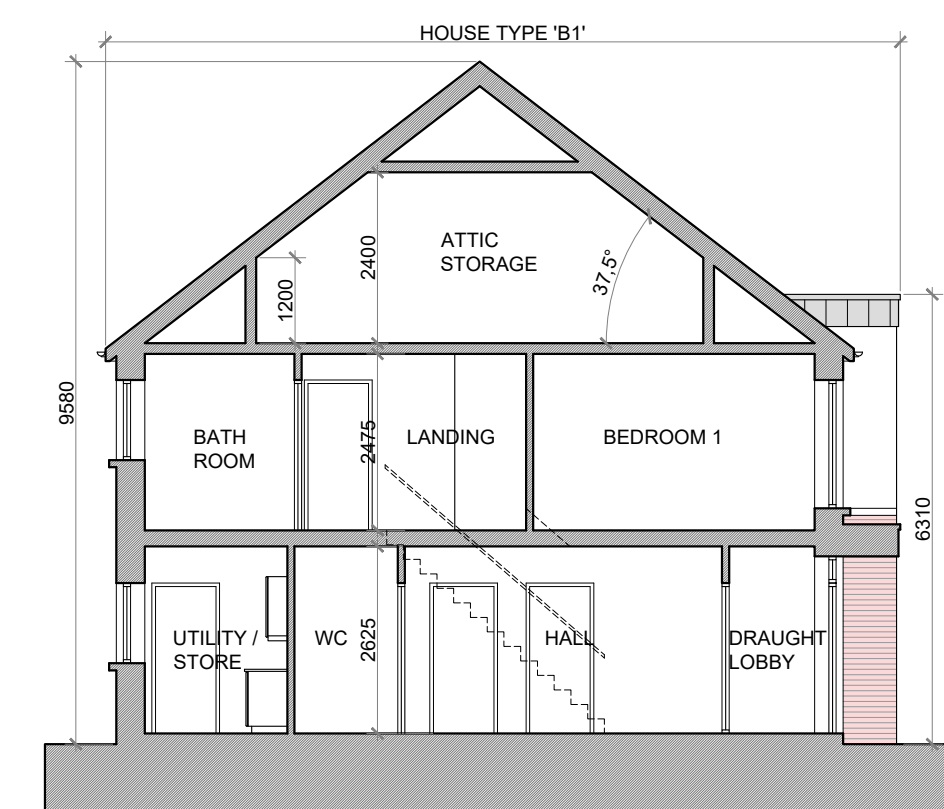
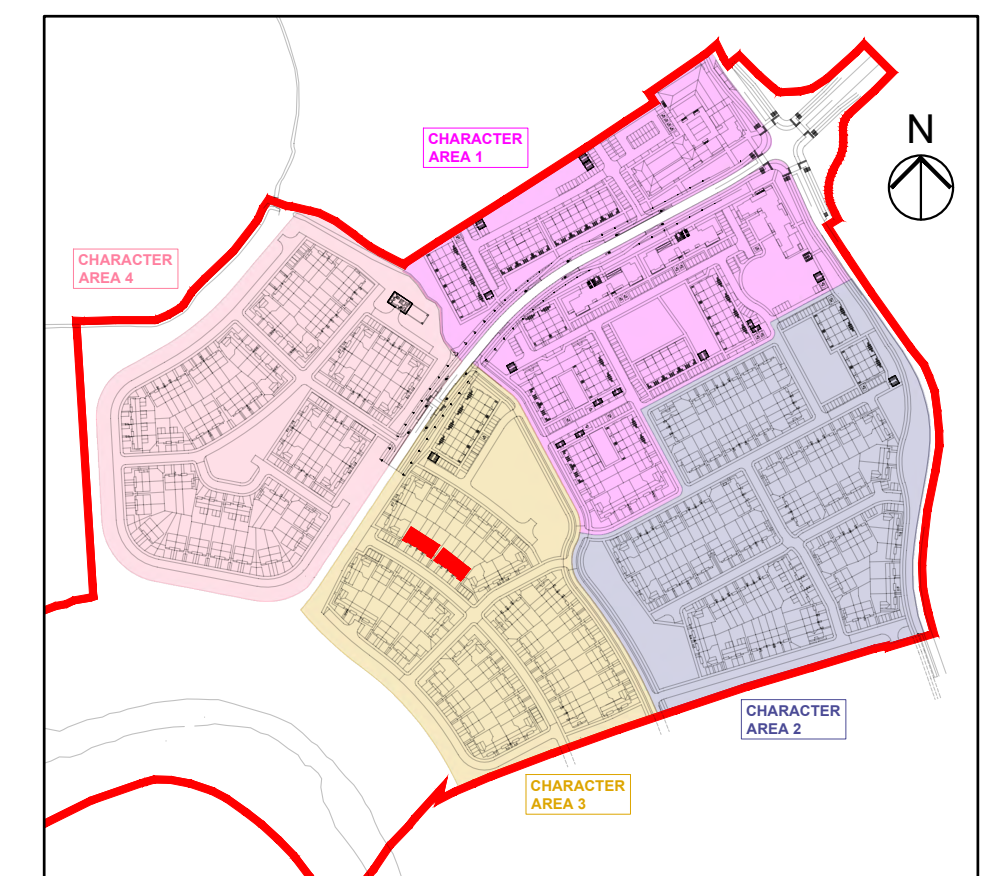
## HOUSE TYPE 'D':

## 2 BED TERRACE—4 PERSON

## FLOOR AREA / ROOM WIDTH REQUIREMENTS\*:

AREAS:	PROVIDED:	MIN. REQUIRED:
MAIN LIVING ROOM	15.1 M <sup>2</sup>	13 M <sup>2</sup>
BEDROOM 1	11.5 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 2 (MAIN)	15.2 M <sup>2</sup>	13 M <sup>2</sup>
AGGREGATE LIVING	33.5 M <sup>2</sup>	30 M <sup>2</sup>
AGGREGATE BEDROOM	26.7 M <sup>2</sup>	25 M <sup>2</sup>
GROSS STORAGE	8.5 M <sup>2</sup>	4 M <sup>2</sup> (KCC 4 M <sup>2</sup> )
GROSS FLOOR SPACE	89.2 M <sup>2</sup>	80 M <sup>2</sup> (KCC 80 M <sup>2</sup> )

WIDTHS:	PROVIDED:	MIN. REQUIRED:
LIVING ROOM (OPEN PLAN)	4.9 M	3.6 M
BEDROOM 1 (DOUBLE)	2.9 M	2.8 M
BEDROOM 2 (DOUBLE)	2.8 M	2.8 M

\*FIGURES TAKEN FROM *QUALITY HOUSING FOR SUSTAINABLE COMMUNITIES* PUBLISHED BY THE DOEHLG.REAR ELEVATION @ 1:100  
TERRACE BLOCK TYPE 5SIDE ELEVATION @ 1:100  
TERRACE BLOCK TYPE 5SECTION A-A @ 1:100  
TERRACE BLOCK TYPE 5

KEY PLAN

TERRACE BLOCK TYPE 5—CHARACTER AREA 3

## NOTES:

DO NOT SCALE. USE ONLY FIGURED DIMENSIONS WHICH SHOULD BE CHECKED ON SITE BEFORE WORK COMMENCES.

ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE LATEST BUILDING REGULATIONS.

REFER TO STRUCTURAL ENGINEER'S DRAWINGS AND SPECIFICATION FOR ALL STRUCTURAL WORK.

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NO.:	REVISIONS:	DATE:	H	DATE:
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C			K	
D			L	
E			M	
F			N	
G			O	

## LEGEND:

REFER TO THE SITE LAYOUT DRAWING FOR THE ORIENTATION AND FLOOR LEVELS FOR EACH DWELLING .

## OFA

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2021

PROJECT: PROPOSED GREAT CONNELL SHD AT NEWBRIDGE, CO. KILDARE.

TITLE: PROPOSED PLANS, ELEVATIONS &amp; SECTION FOR TERRACE BLOCK TYPE 5—CHARACTER AREA 3.

CLIENT: ASTON LTD.

STAGE: PLANNING

PROJECT NO.: 19070

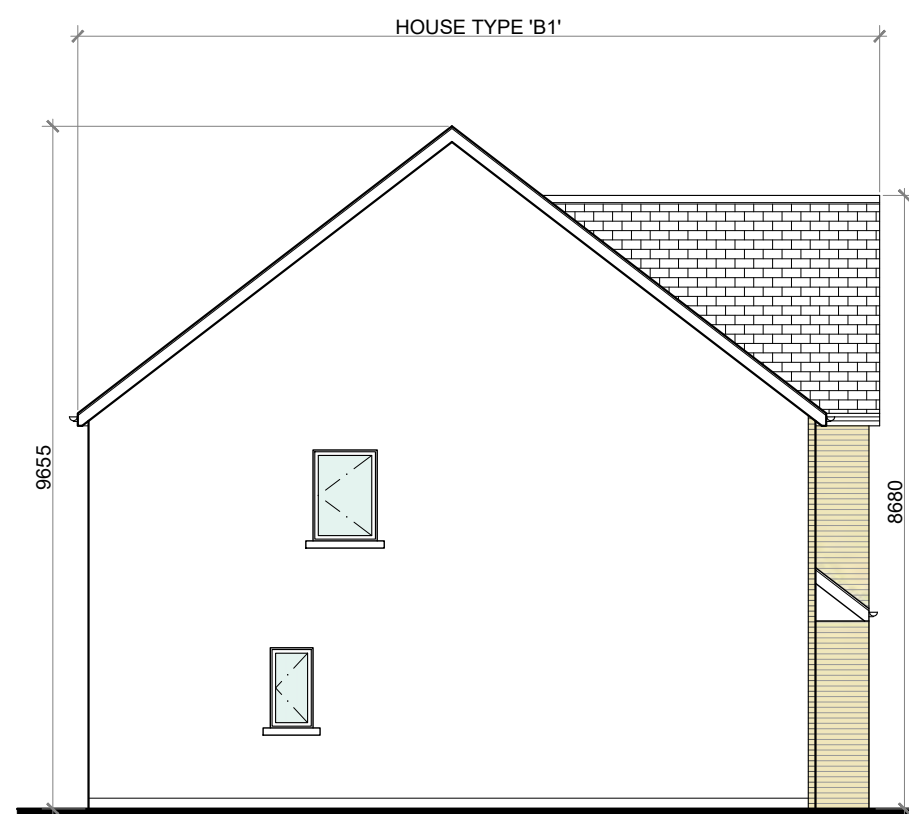
DRG. NO.: PA-065

SCALE: 1:100  
DATE: MARCH 2022DRAWN: POF  
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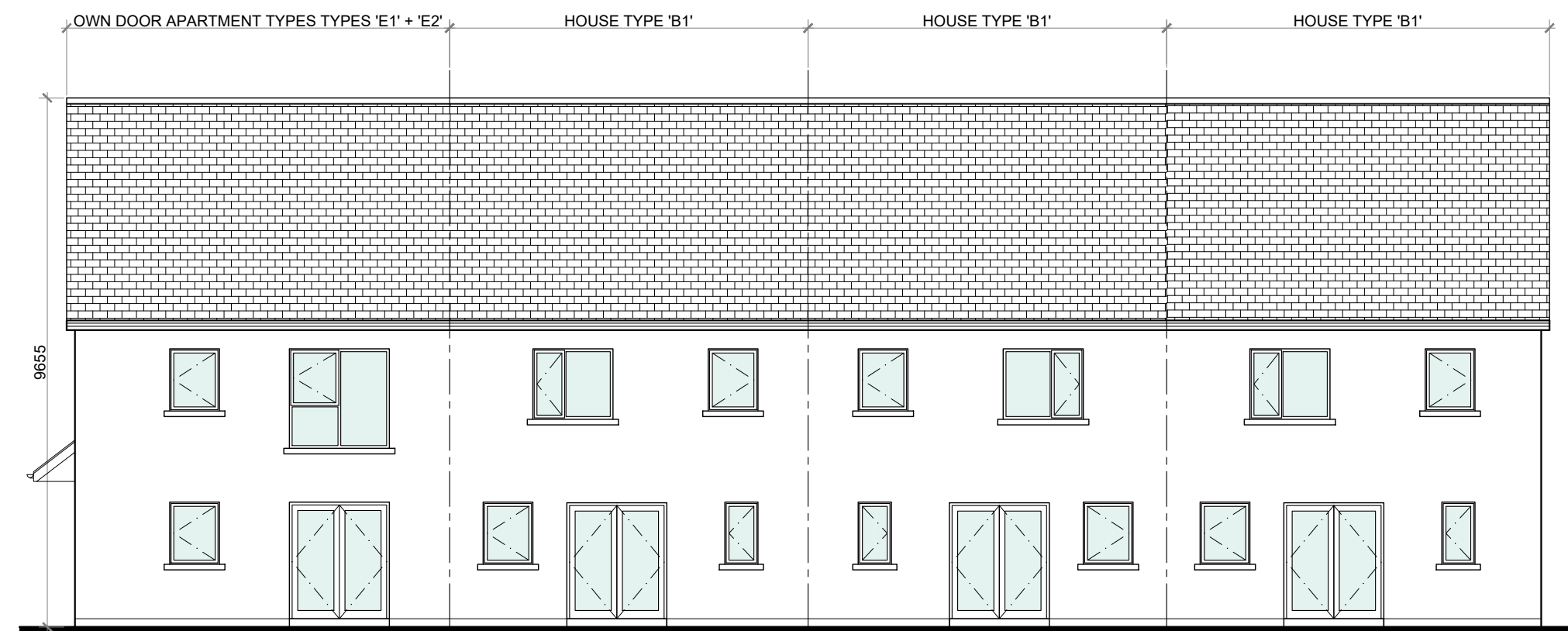




FRONT ELEVATION @ 1:100  
TERRACE BLOCK TYPE 7



SIDE ELEVATION @ 1:100  
TERRACE BLOCK TYPE 7



REAR ELEVATION @ 1:100  
TERRACE BLOCK TYPE 7

**PROPOSED FINISHES:**

SLATE / TILED FINISH TO ROOF.

UPVC / ALUMINIUM FINISH TO FASCIAS, GUTTERS AND DOWNPIPES.

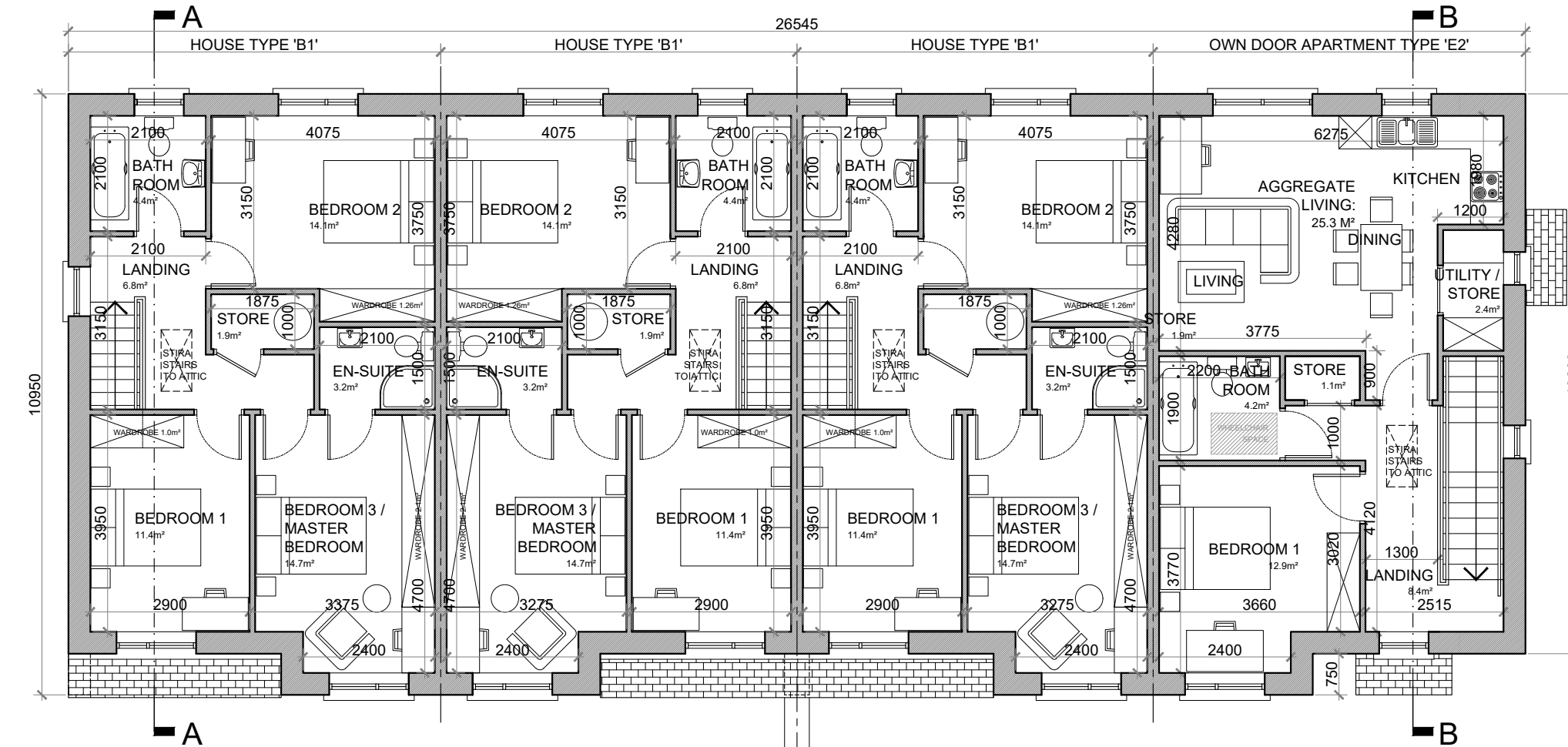
SELECTED BRICK FINISH TO AREAS AS INDICATED.

PLASTER / RENDER FINISH TO WALLS AS INDICATED.

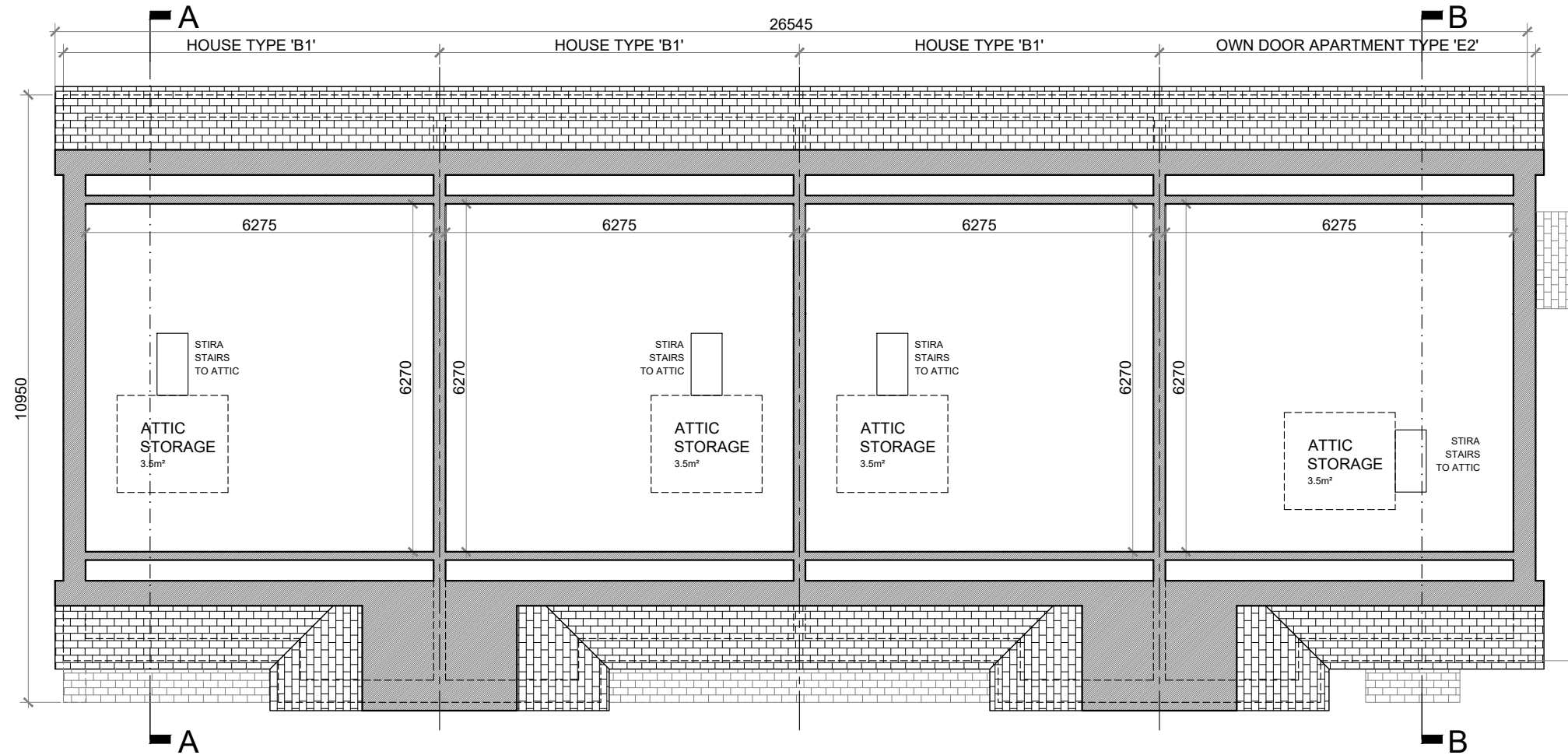
UPVC / ALUMINIUM / TIMBER FINISH TO WINDOWS AND DOORS.

PAINTED CONCRETE / STONE SILLS AND CAPPINGS.

PLASTER / RENDER FINISH TO PLINTH.



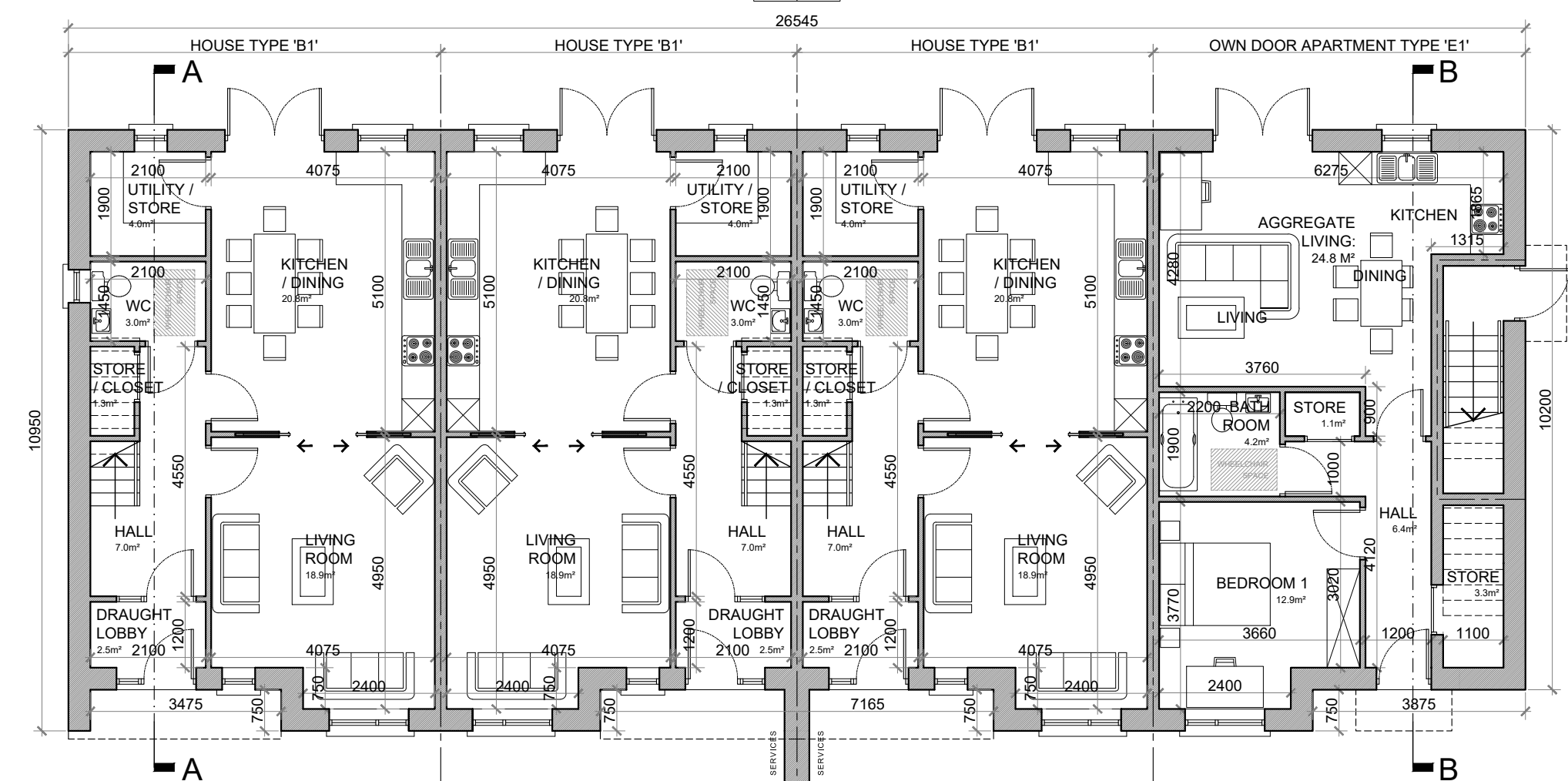
FIRST FLOOR PLAN @ 1:100  
TERRACE BLOCK TYPE 7



ATTIC STORAGE PLAN @ 1:100  
TERRACE BLOCK TYPE 7



SIDE (DUAL FRONTAGE) ELEVATION @ 1:100  
TERRACE BLOCK TYPE 7



GROUND FLOOR PLAN @ 1:100  
TERRACE BLOCK TYPE 7

**HOUSE TYPE 'B1'**

GROUND FLOOR AREA: 60.8 SQ.M. (654.5 SQ.FT.)  
FIRST FLOOR AREA: 60.8 SQ.M. (654.5 SQ.FT.)  
TOTAL FLOOR AREA: 121.6 SQ.M. (1309.0 SQ.FT.)

**OWN DOOR APARTMENT TYPES 'E1' + 'E2'**

1 BED GROUND FLOOR APARTMENT ('E1')  
FLOOR AREA: 55.50 SQ.M. (592.9 SQ.FT.)

1 BED FIRST FLOOR APARTMENT ('E2')  
FLOOR AREA: 65.3 SQ.M. (702.9 SQ.FT.)

**HOUSE TYPE 'B1'**

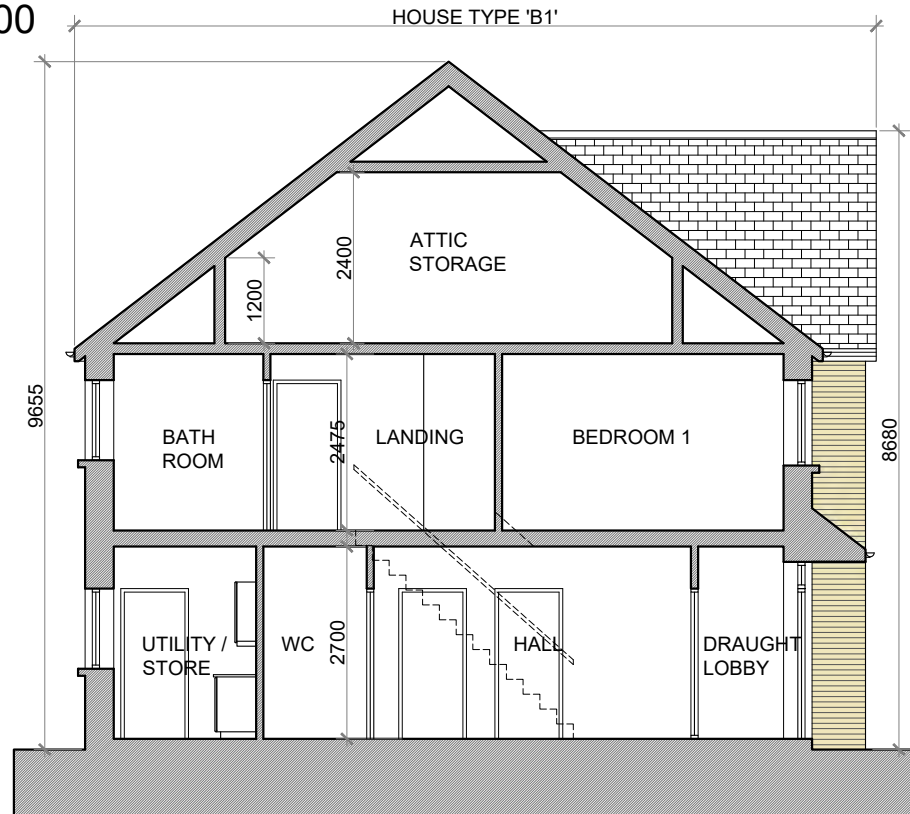
**3 BED TERRACE—6 PERSON**

**FLOOR AREA / ROOM WIDTH REQUIREMENTS\*:**

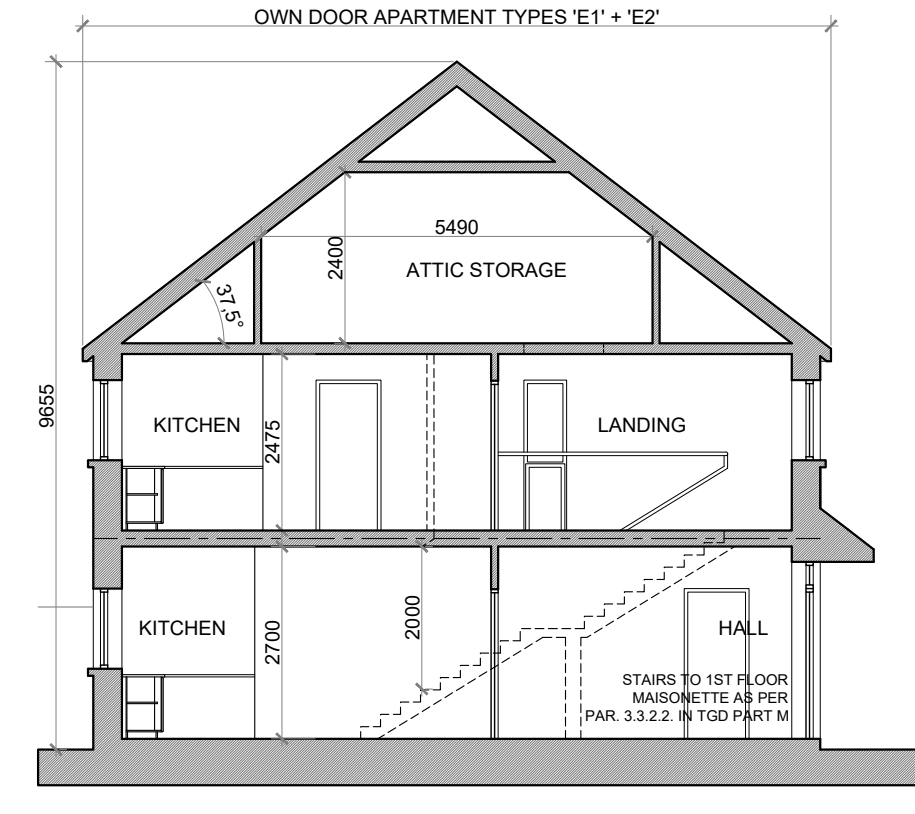
AREAS:	PROVIDED:	MIN. REQUIRED:
MAIN LIVING ROOM	18.9 M <sup>2</sup>	15 M <sup>2</sup>
BEDROOM 1	11.4 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 2	14.1 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 3 (MAIN)	14.7 M <sup>2</sup>	13 M <sup>2</sup>
AGGREGATE LIVING	39.7 M <sup>2</sup>	37 M <sup>2</sup>
AGGREGATE BEDROOM	40.2 M <sup>2</sup>	36 M <sup>2</sup>
GROSS STORAGE	10.7 M <sup>2</sup>	6 M <sup>2</sup> (RCC 14M)
GROSS FLOOR SPACE	121.6 M <sup>2</sup>	100 M <sup>2</sup> (RCC 100 M)

WIDTHS:	PROVIDED:	MIN. REQUIRED:
LIVING ROOM	4.075 M	3.8 M
BEDROOM 1 (DOUBLE)	2.9 M	2.8 M
BEDROOM 2 (DOUBLE)	3.15 M	2.8 M
BEDROOM 3 (DOUBLE)	3.275 M	2.8 M

\*FIGURES TAKEN FROM *QUALITY HOUSING FOR SUSTAINABLE COMMUNITIES* PUBLISHED BY THE DOEHLG.



SECTION A-A @ 1:100  
TERRACE BLOCK TYPE 7



SECTION B-B @ 1:100  
TERRACE BLOCK TYPE 7

**HOUSE TYPE 'E1'**

**1 BED OWN DOOR APARTMENT—2 PERSON**

**FLOOR AREA / ROOM WIDTH REQUIREMENTS\*:**

AREAS:	PROVIDED:	MIN. REQUIRED:
BEDROOM 1 (MAIN)	12.9 M <sup>2</sup>	11.4 M <sup>2</sup>
AGGREGATE LIVING	24.8 M <sup>2</sup>	23 M <sup>2</sup>
AGGREGATE BEDROOM	12.9 M <sup>2</sup>	11.4 M <sup>2</sup>
GROSS STORAGE	4.4 M <sup>2</sup>	3 M <sup>2</sup>
GROSS FLOOR SPACE	55 M <sup>2</sup>	45 M <sup>2</sup>

WIDTHS:	PROVIDED:	MIN. REQUIRED:
LIVING / DINING ROOM	4.28 M	3.3 M
BEDROOM 1 (DOUBLE)	3.02 M	2.8 M

\*FIGURES TAKEN FROM *QUALITY HOUSING FOR SUSTAINABLE COMMUNITIES* PUBLISHED BY THE DOEHLG FOR 1 BED / 2P APARTMENT.

**HOUSE TYPE 'E2'**

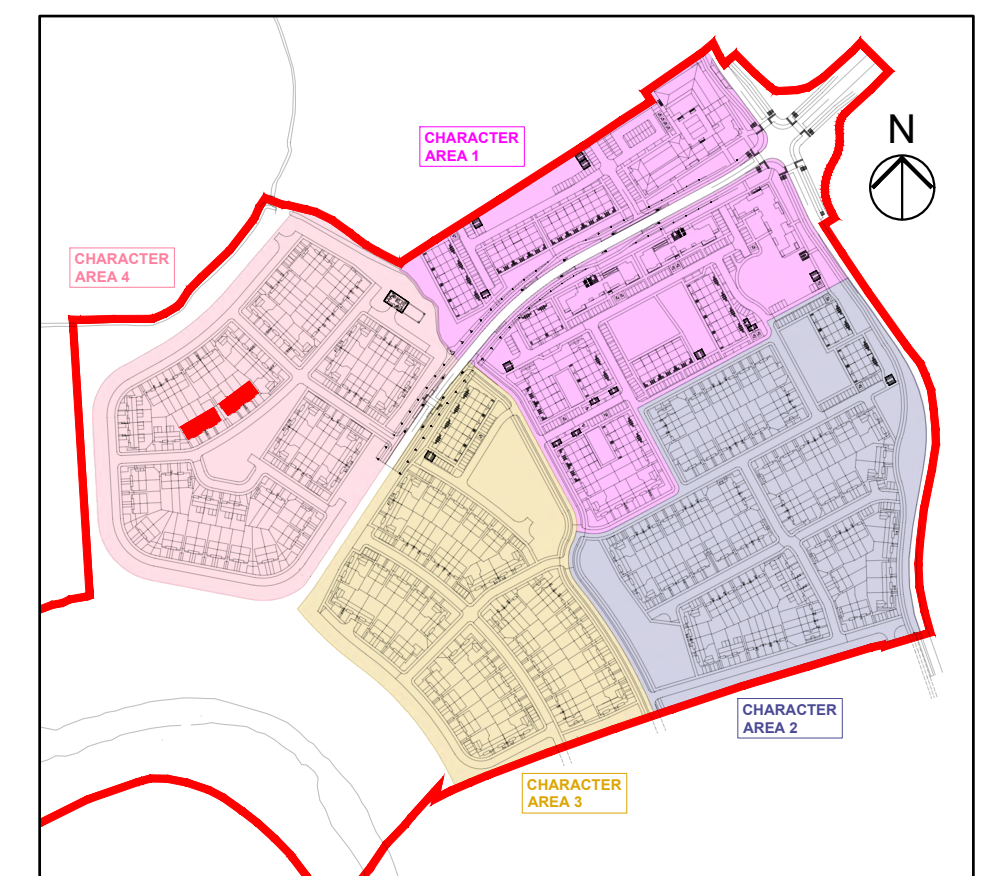
**1 BED OWN DOOR APARTMENT—2 PERSON**

**FLOOR AREA / ROOM WIDTH REQUIREMENTS\*:**

AREAS:	PROVIDED:	MIN. REQUIRED:
BEDROOM 1 (MAIN)	12.9 M <sup>2</sup>	11.4 M <sup>2</sup>
AGGREGATE LIVING	25.3 M <sup>2</sup>	23 M <sup>2</sup>
AGGREGATE BEDROOM	12.9 M <sup>2</sup>	11.4 M <sup>2</sup>
GROSS STORAGE	7 M <sup>2</sup>	3 M <sup>2</sup>
GROSS FLOOR SPACE	65.3 M <sup>2</sup>	45 M <sup>2</sup>

WIDTHS:	PROVIDED:	MIN. REQUIRED:
LIVING / DINING ROOM	4.28 M	3.3 M
BEDROOM 1 (DOUBLE)	3.02 M	2.8 M

\*FIGURES TAKEN FROM *QUALITY HOUSING FOR SUSTAINABLE COMMUNITIES* PUBLISHED BY THE DOEHLG FOR 1 BED / 2P APARTMENT.



KEY PLAN

**TERRACE BLOCK TYPE 7—CHARACTER AREA 4**

**NOTES:**

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F			N
G			O

**LEGEND:**

REFER TO THE SITE LAYOUT DRAWING FOR THE ORIENTATION AND FLOOR LEVELS FOR EACH DWELLING.

**OFA**

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2021

PROJECT: PROPOSED GREAT CONNELL SHD AT NEWBRIDGE, CO. KILDARE.

TITLE: PROPOSED PLANS, ELEVATIONS & SECTION FOR TERRACE BLOCK TYPE 7—CHARACTER AREA 4.

CLIENT: ASTON LTD.

STAGE: PLANNING

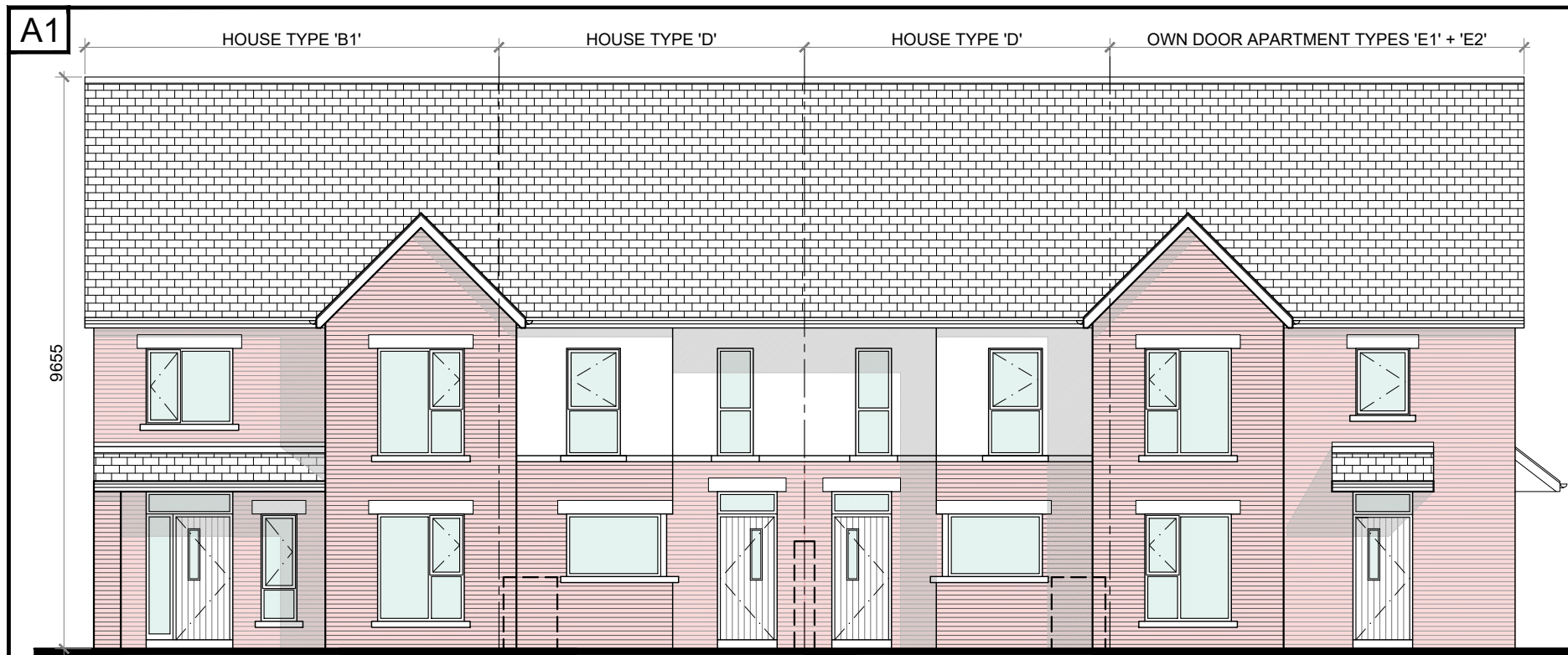
PROJECT NO.: 19070

DRG. NO.: PA-067

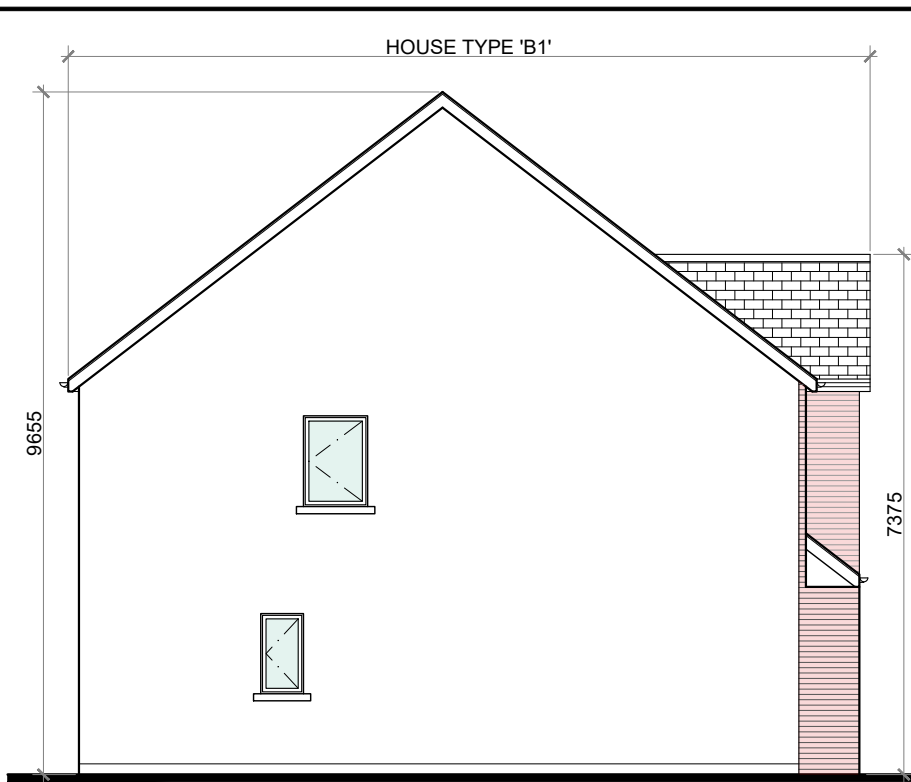
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DATE: MARCH 2022

DRAWN: POF  
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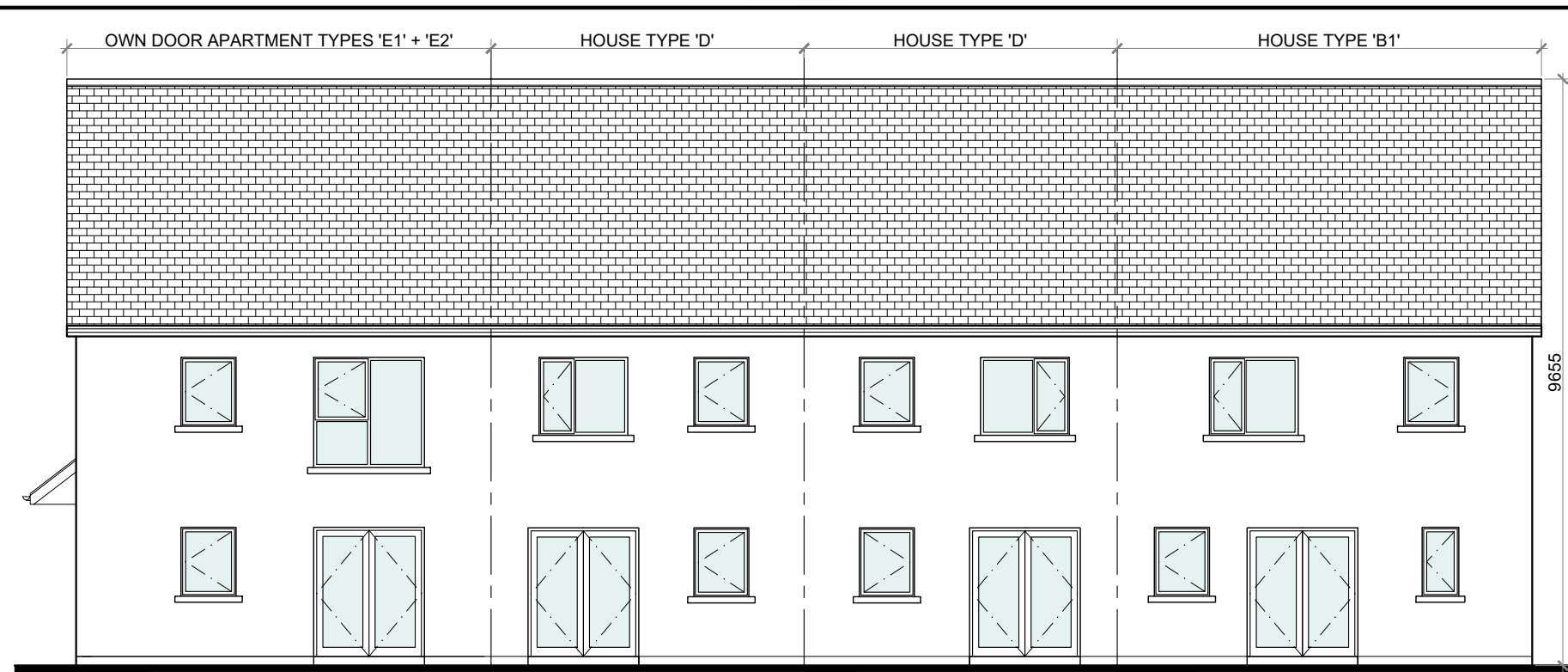




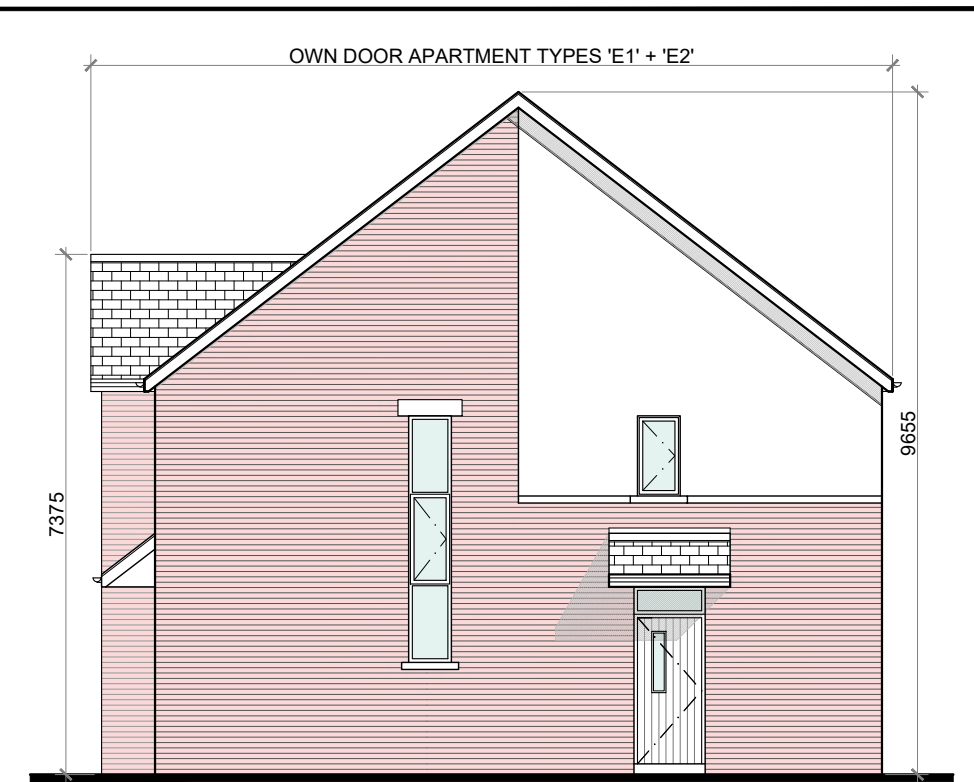
FRONT ELEVATION @ 1:100  
TERRACE BLOCK TYPE 8 (CHARACTER AREA 2)



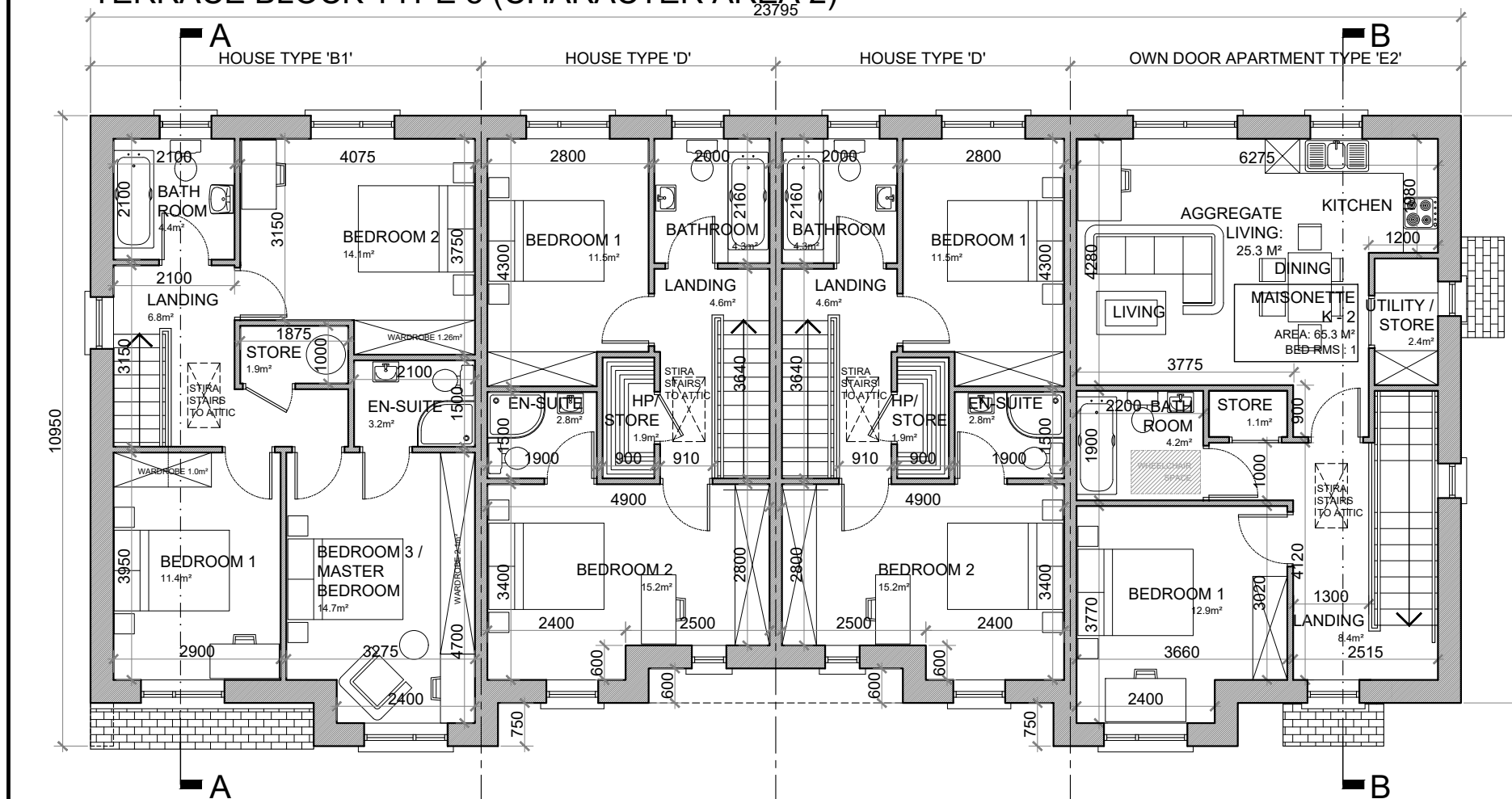
SIDE ELEVATION @ 1:100  
TERRACE BLOCK TYPE 8



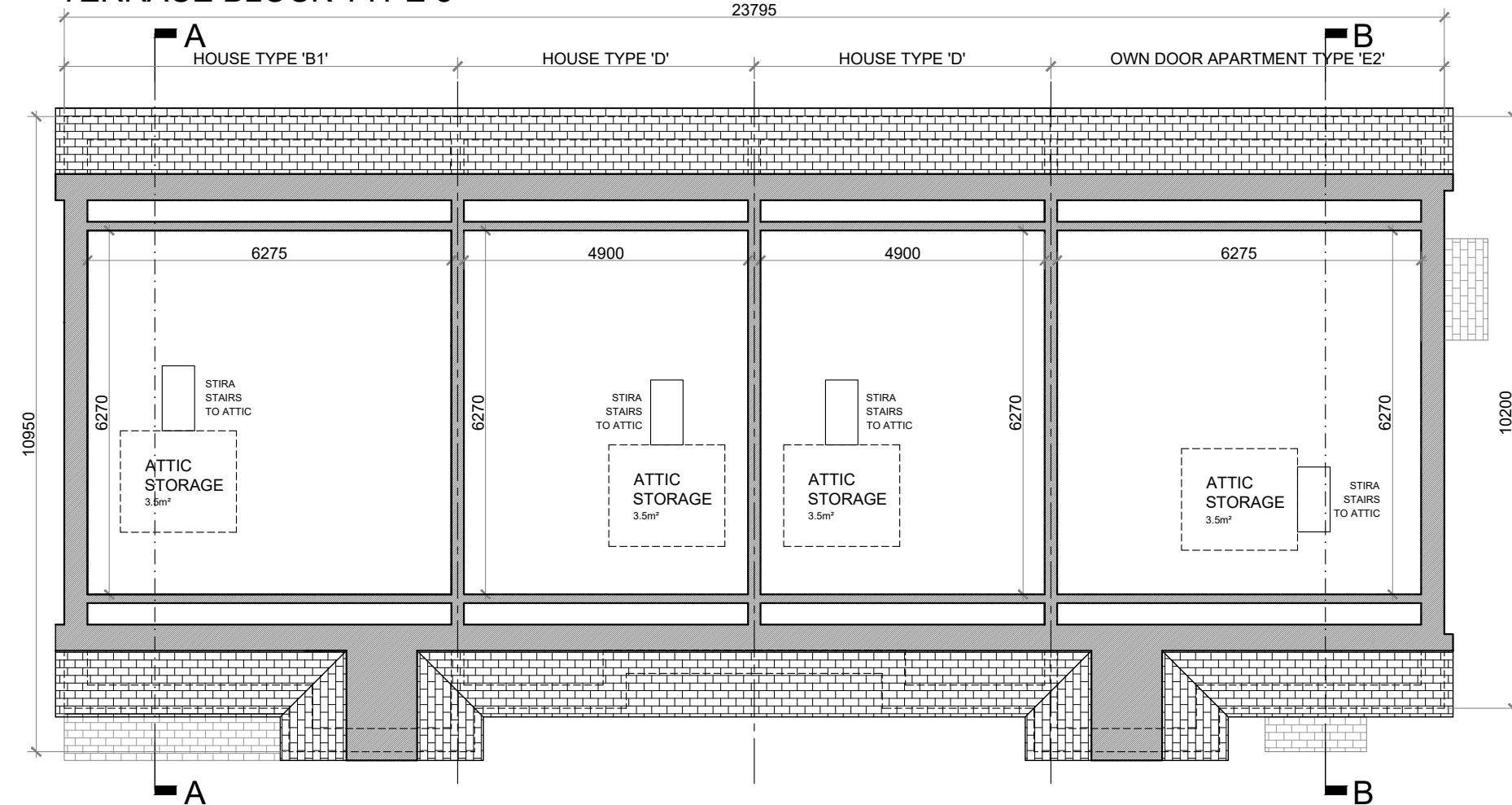
REAR ELEVATION @ 1:100  
TERRACE BLOCK TYPE 8



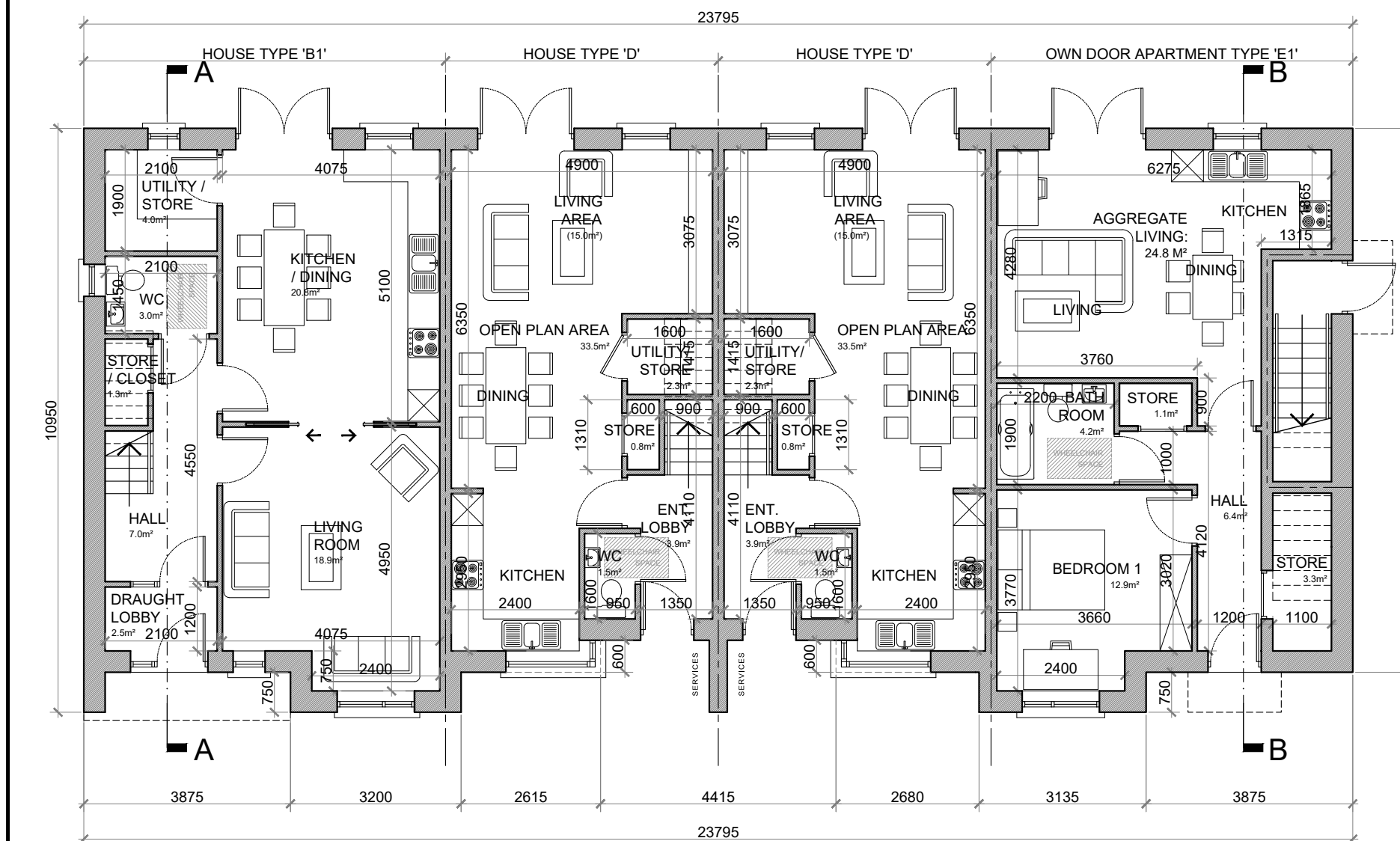
SIDE (DUAL FRONTAGE) ELEVATION @ 1:100  
TERRACE BLOCK TYPE 8



FIRST FLOOR PLAN @ 1:100  
TERRACE BLOCK TYPE 8



ATTIC STORAGE PLAN @ 1:100  
TERRACE BLOCK TYPE 8



GROUND FLOOR PLAN @ 1:100  
TERRACE BLOCK TYPE 8

**HOUSE TYPE 'B1'**  
3 BED END TERRACE HOUSE TYPE 'B1':  
GROUND FLOOR AREA: 60.8 SQ.M. (654.5 SQ.FT.)  
FIRST FLOOR AREA: 60.8 SQ.M. (654.5 SQ.FT.)  
TOTAL FLOOR AREA: 121.6 SQ.M. (1,309 SQ.FT.)

**HOUSE TYPE 'D'**  
2 BED MID TERRACE HOUSE TYPE:  
GROUND FLOOR AREA: 44.6 SQ.M. (480 SQ.FT.)  
FIRST FLOOR AREA: 44.6 SQ.M. (480 SQ.FT.)  
TOTAL FLOOR AREA: 89.2 SQ.M. (960 SQ.FT.)

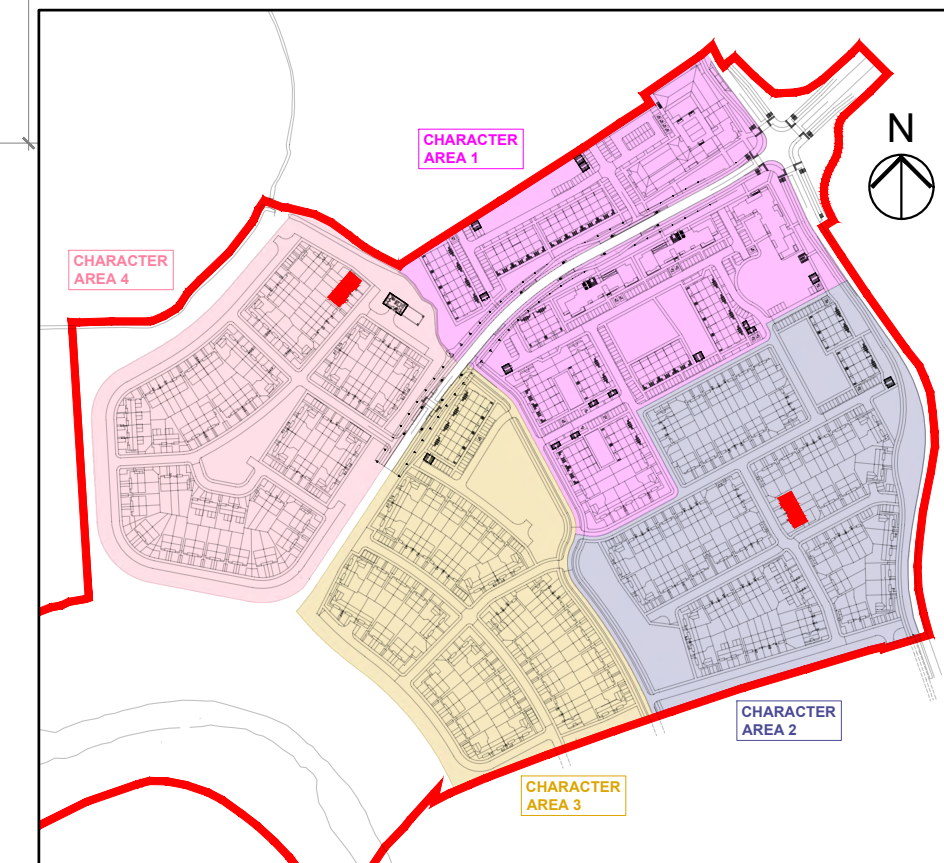
**OWN DOOR APARTMENT TYPES 'E1' + 'E2'**  
1 BED GROUND FLOOR APARTMENT ('E1'):  
FLOOR AREA: 55 SQ.M. (592 SQ.FT.)  
1 BED FIRST FLOOR APARTMENT ('E2'):  
FLOOR AREA: 65.3 SQ.M. (702.9 SQ.FT.)

HOUSE TYPE 'B1'			
3 BED TERRACE—6 PERSON			
FLOOR AREA / ROOM WIDTH REQUIREMENTS*:			
AREAS:	PROVIDED:	MIN. REQUIRED:	
MAIN LIVING ROOM	18.9 M <sup>2</sup>	15 M <sup>2</sup>	
BEDROOM 1	11.4 M <sup>2</sup>	11.4 M <sup>2</sup>	
BEDROOM 2	14.1 M <sup>2</sup>	11.4 M <sup>2</sup>	
BEDROOM 3 (MAIN)	14.7 M <sup>2</sup>	13 M <sup>2</sup>	
AGGREGATE LIVING	39.7 M <sup>2</sup>	37 M <sup>2</sup>	
AGGREGATE BEDROOM	40.2 M <sup>2</sup>	36 M <sup>2</sup>	
GROSS STORAGE	10.7 M <sup>2</sup>	6 M <sup>2</sup> (WCC 80 M <sup>2</sup> )	
GROSS FLOOR SPACE	121.6 M <sup>2</sup>	100 M <sup>2</sup> (WCC 100 M <sup>2</sup> )	
WIDTHS:	PROVIDED:	MIN. REQUIRED:	
LIVING ROOM	4.075 M	3.8 M	
BEDROOM 1 (DOUBLE)	2.9 M	2.8 M	
BEDROOM 2 (DOUBLE)	3.15 M	2.8 M	
BEDROOM 3 (DOUBLE)	3.275 M	2.8 M	
*FIGURES TAKEN FROM QUALITY HOUSING FOR SUSTAINABLE COMMUNITIES PUBLISHED BY THE DOEHLG.			

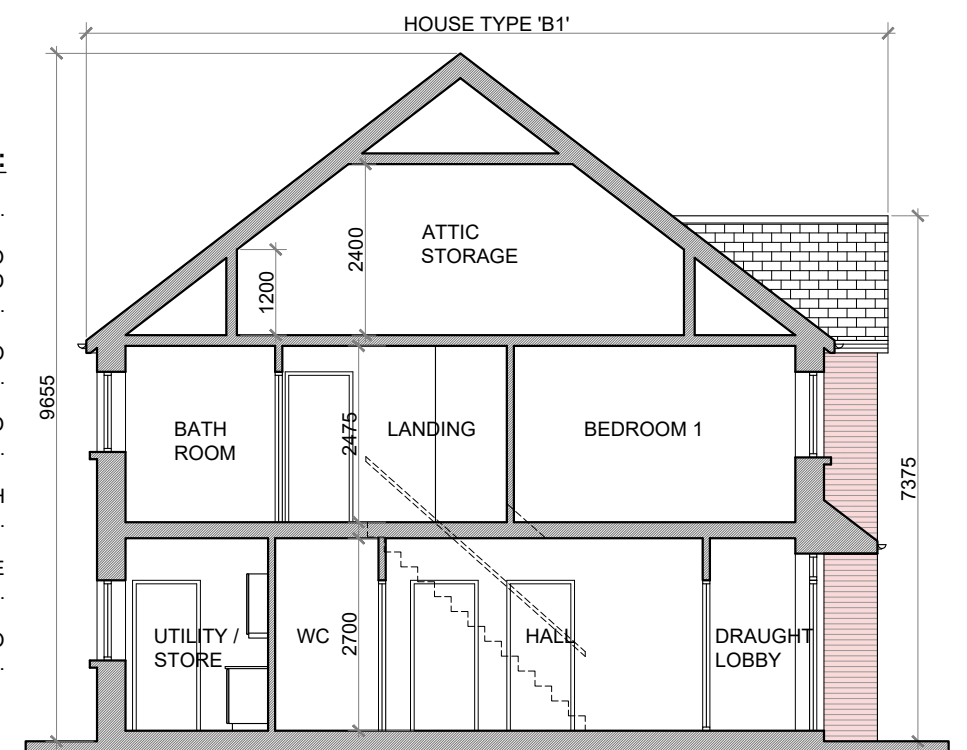
HOUSE TYPE 'E1'			
1 BED OWN DOOR APARTMENT—2 PERSON			
FLOOR AREA / ROOM WIDTH REQUIREMENTS*:			
AREAS:	PROVIDED:	MIN. REQUIRED:	
BEDROOM 1 (MAIN)	12.9 M <sup>2</sup>	11.4 M <sup>2</sup>	
AGGREGATE LIVING	24.8 M <sup>2</sup>	23 M <sup>2</sup>	
AGGREGATE BEDROOM	12.9 M <sup>2</sup>	11.4 M <sup>2</sup>	
GROSS STORAGE	4.4 M <sup>2</sup>	3 M <sup>2</sup>	
GROSS FLOOR SPACE	55 M <sup>2</sup>	45 M <sup>2</sup>	
WIDTHS:	PROVIDED:	MIN. REQUIRED:	
LIVING / DINING ROOM	4.28 M	3.3 M	
BEDROOM 1 (DOUBLE)	3.02 M	2.8 M	
*FIGURES TAKEN FROM QUALITY HOUSING FOR SUSTAINABLE COMMUNITIES PUBLISHED BY THE DOEHLG FOR 1 BED / 2P APARTMENT.			

HOUSE TYPE 'D'			
2 BED TERRACE—4 PERSON			
FLOOR AREA / ROOM WIDTH REQUIREMENTS*:			
AREAS:	PROVIDED:	MIN. REQUIRED:	
MAIN LIVING ROOM	15.1 M <sup>2</sup>	13 M <sup>2</sup>	
BEDROOM 1	11.5 M <sup>2</sup>	11.4 M <sup>2</sup>	
BEDROOM 2 (MAIN)	15.2 M <sup>2</sup>	13 M <sup>2</sup>	
AGGREGATE LIVING	33.5 M <sup>2</sup>	30 M <sup>2</sup>	
AGGREGATE BEDROOM	26.7 M <sup>2</sup>	25 M <sup>2</sup>	
GROSS STORAGE	8.5 M <sup>2</sup>	4 M <sup>2</sup> (WCC 80 M <sup>2</sup> )	
GROSS FLOOR SPACE	89.2 M <sup>2</sup>	80 M <sup>2</sup> (WCC 85 M <sup>2</sup> )	
WIDTHS:	PROVIDED:	MIN. REQUIRED:	
LIVING ROOM (OPEN PLAN)	4.9 M	3.8 M	
BEDROOM 1 (DOUBLE)	2.8 M	2.8 M	
BEDROOM 2 (DOUBLE)	2.8 M	2.8 M	
*FIGURES TAKEN FROM QUALITY HOUSING FOR SUSTAINABLE COMMUNITIES PUBLISHED BY THE DOEHLG.			

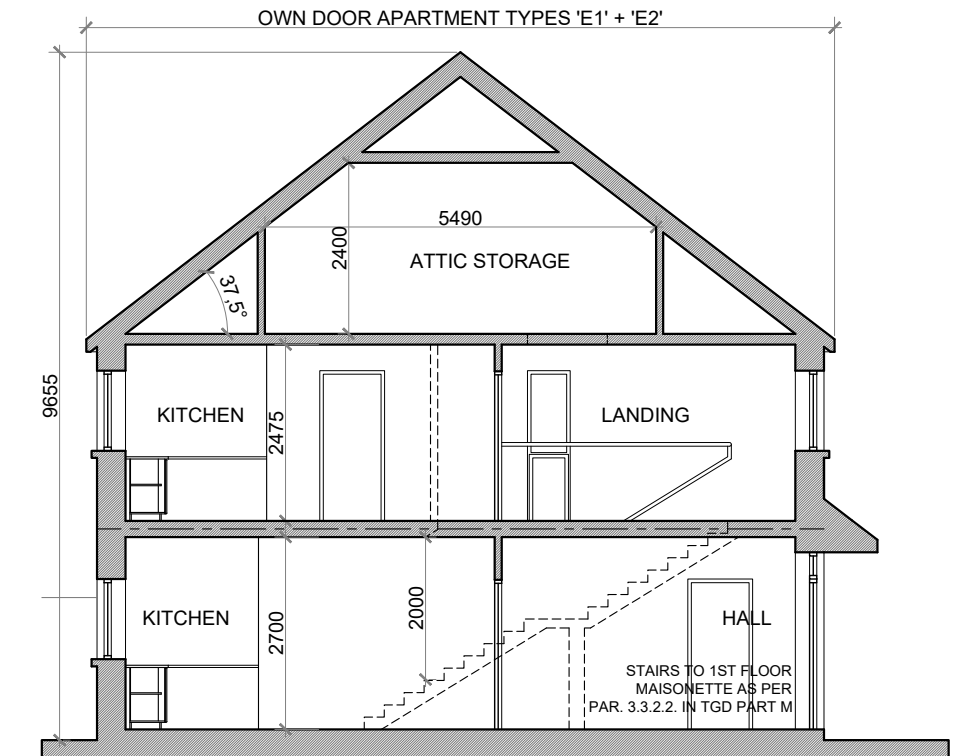
HOUSE TYPE 'E2'			
1 BED OWN DOOR APARTMENT—2 PERSON			
FLOOR AREA / ROOM WIDTH REQUIREMENTS*:			
AREAS:	PROVIDED:	MIN. REQUIRED:	
BEDROOM 1 (MAIN)	12.9 M <sup>2</sup>	11.4 M <sup>2</sup>	
AGGREGATE LIVING	25.3 M <sup>2</sup>	23 M <sup>2</sup>	
AGGREGATE BEDROOM	12.9 M <sup>2</sup>	11.4 M <sup>2</sup>	
GROSS STORAGE	7 M <sup>2</sup>	3 M <sup>2</sup>	
GROSS FLOOR SPACE	65.3 M <sup>2</sup>	45 M <sup>2</sup>	
WIDTHS:	PROVIDED:	MIN. REQUIRED:	
LIVING / DINING ROOM	4.28 M	3.3 M	
BEDROOM 1 (DOUBLE)	3.02 M	2.8 M	
FIGURES TAKEN FROM QUALITY HOUSING FOR SUSTAINABLE COMMUNITIES PUBLISHED BY THE DOEHLG FOR 1 BED / 2P APARTMENT.			



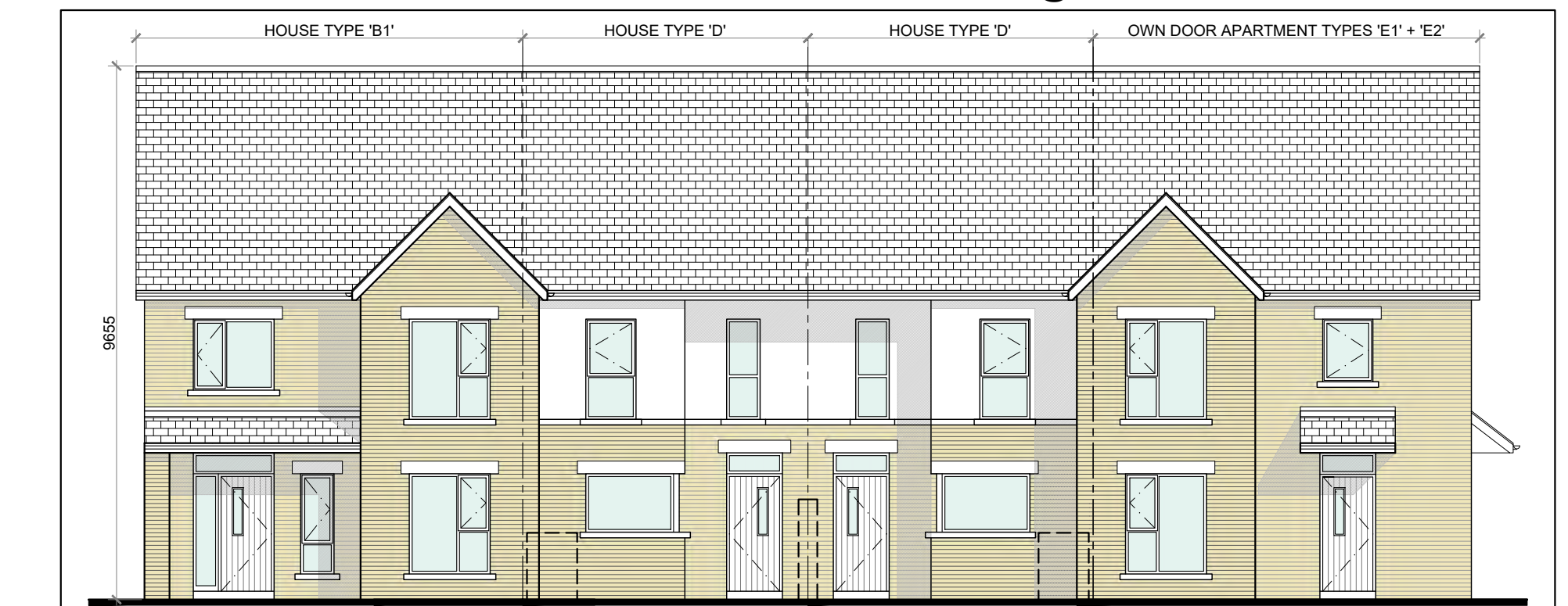
KEY PLAN



SECTION A-A @ 1:100 TERRACE BLOCK TYPE 8



SECTION B-B @ 1:100 TERRACE BLOCK TYPE 8



FRONT ELEVATION @ 1:100  
TERRACE BLOCK TYPE 8 (CHARACTER AREA 4)

**NOTE ON BRICK FINISH IN CHARACTER AREAS 2 & 4:**  
AREAS OF BRICK ON ELEVATIONS IN CHARACTER AREA 2 ARE TO BE RED AND IN CHARACTER AREA 4 ARE TO BE BUFF.

NOTES:  
DO NOT SCALE. USE ONLY FIGURED DIMENSIONS WHICH SHOULD BE CHECKED ON SITE BEFORE WORK COMMENCES.  
ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE LATEST BUILDING REGULATIONS.  
REFER TO STRUCTURAL ENGINEER'S DRAWINGS AND SPECIFICATION FOR ALL STRUCTURAL WORK.  
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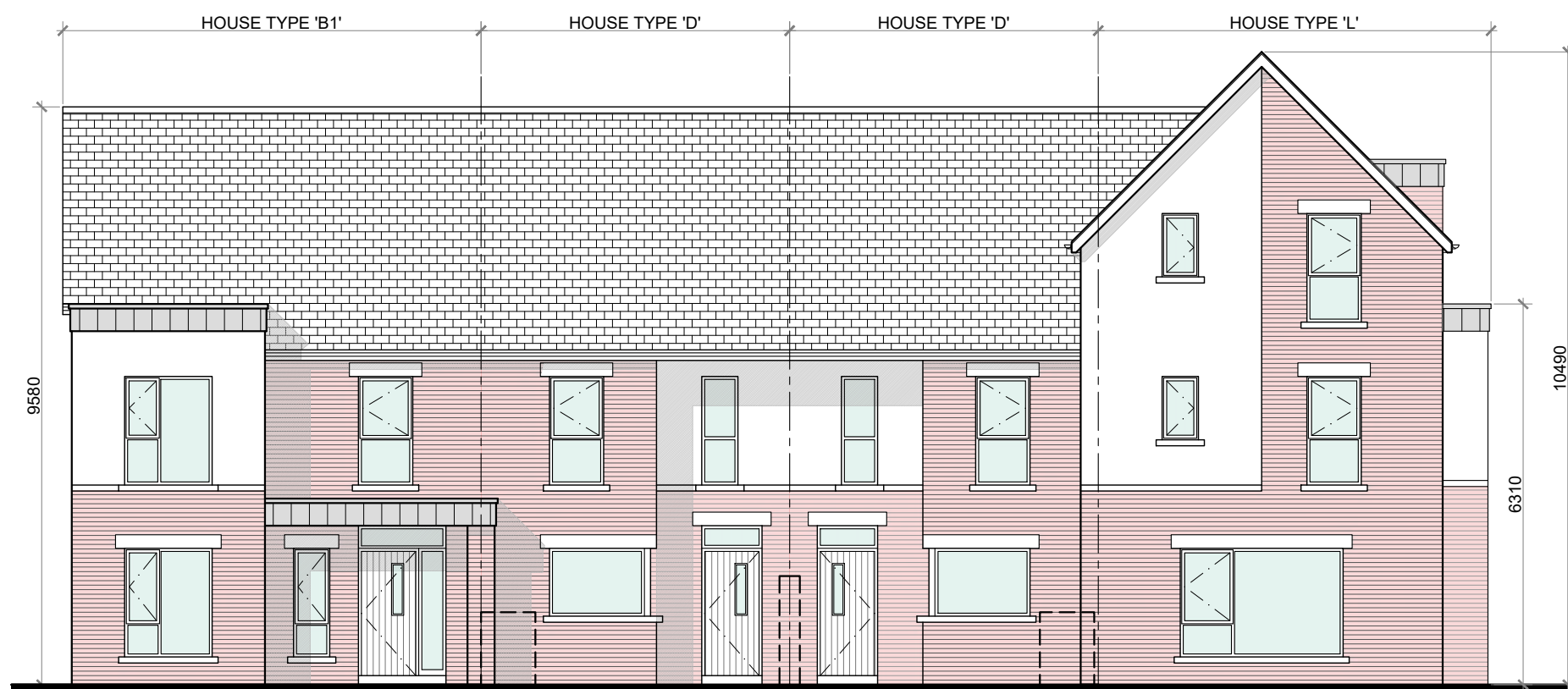
NO.	REVISIONS:	DATE:	H
A			I
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C			K
D			L
E			M
F			N
G			O

LEGEND:  
REFER TO THE SITE LAYOUT DRAWING FOR THE ORIENTATION AND FLOOR LEVELS FOR EACH DWELLING .

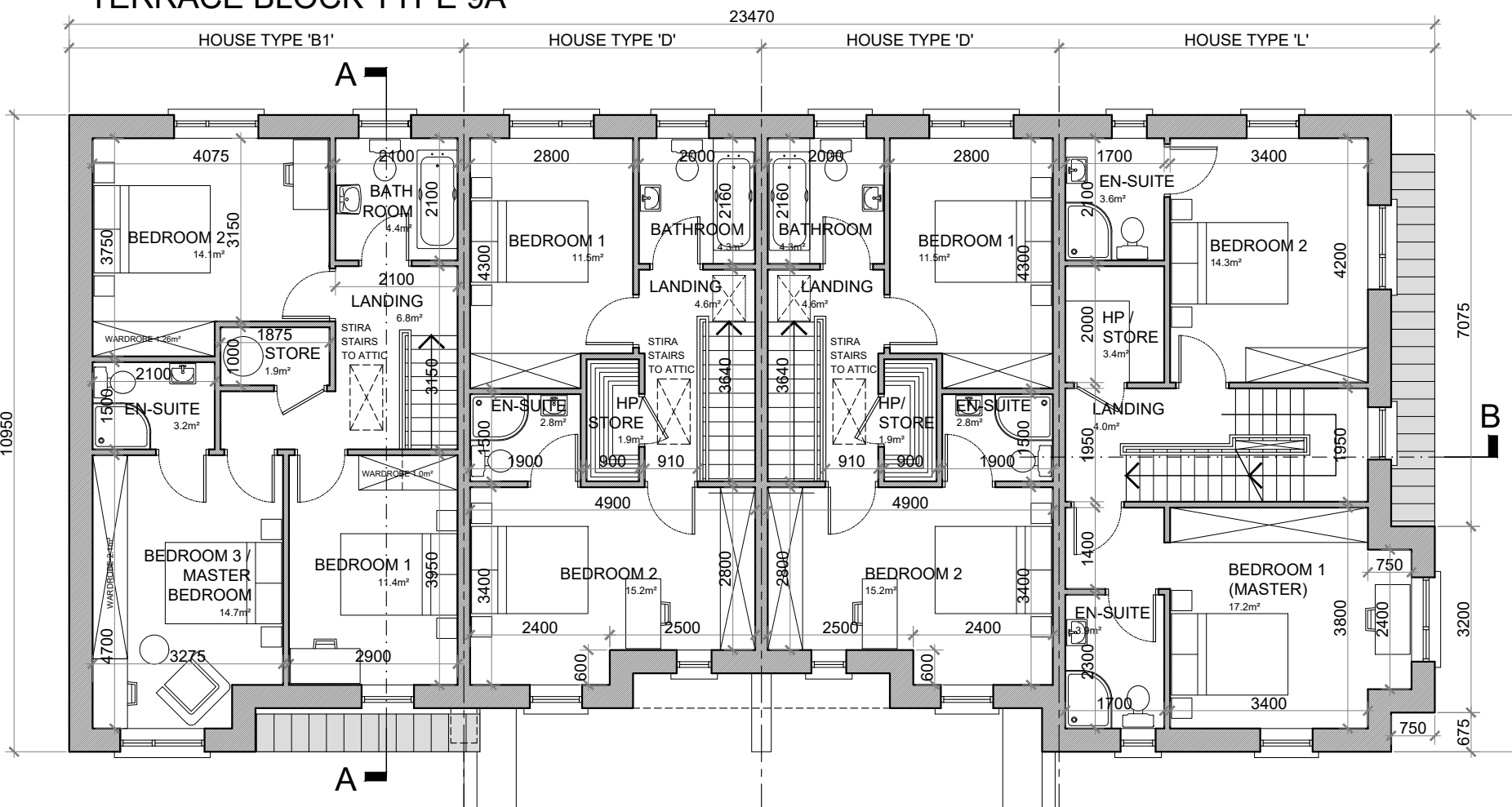
OFA		PROJECT: PROPOSED GREAT CONNELL SHD AT NEWBRIDGE, CO. KILDARE.	
O'FLYNN ARCHITECTS, LOWER DYKE STREET, NEWBRIDGE, CO. KILDARE. TEL: 045 433400 EMAIL: info@oflynnarchitects.ie WEB: www.oflynnarchitects.ie		TITLE: PROPOSED PLANS, ELEVATIONS & SECTION FOR TERRACE BLOCK TYPE 8—CHARACTER AREAS 2 & 4.	
CLIENT: ASTON LTD.		STAGE: PLANNING	
PROJECT NO.: 19070		DRG. NO.: PA-068	
SCALE: 1:100		DRAWN: POF	
DATE: MARCH 2022		CHECKED: POF	



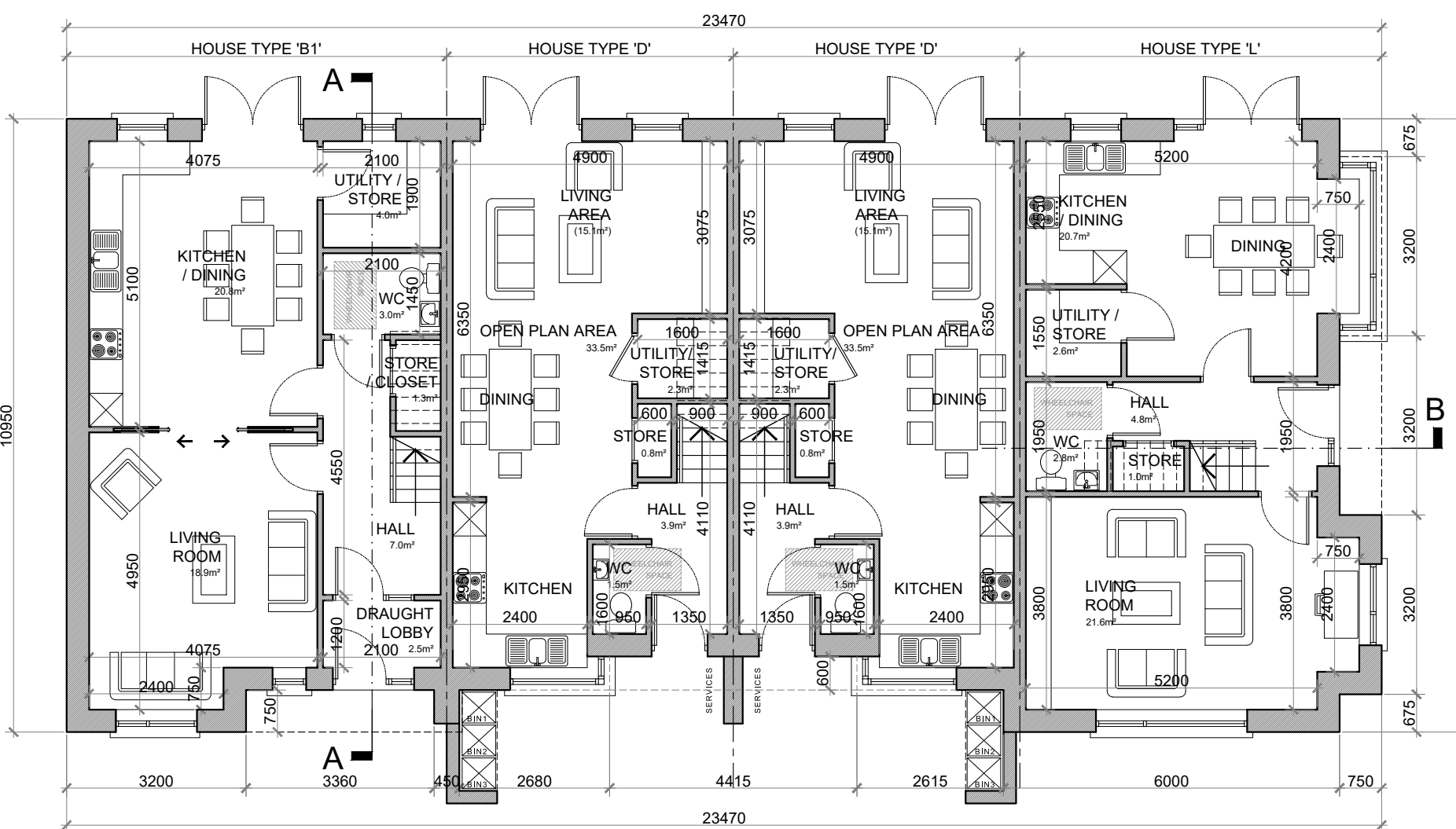
A1



FRONT ELEVATION @ 1:100  
TERRACE BLOCK TYPE 9A



FIRST FLOOR PLAN @ 1:100  
TERRACE BLOCK TYPE 9A



GROUND FLOOR PLAN @ 1:100  
TERRACE BLOCK TYPE 9A

#### HOUSE TYPE 'B1'

GROUND FLOOR AREA: 60.8 SQ.M. (654.5 SQ.FT.)  
FIRST FLOOR AREA: 60.8 SQ.M. (654.5 SQ.FT.)  
TOTAL FLOOR AREA: 121.6 SQ.M. (1,309 SQ.FT.)

#### HOUSE TYPE 'D'

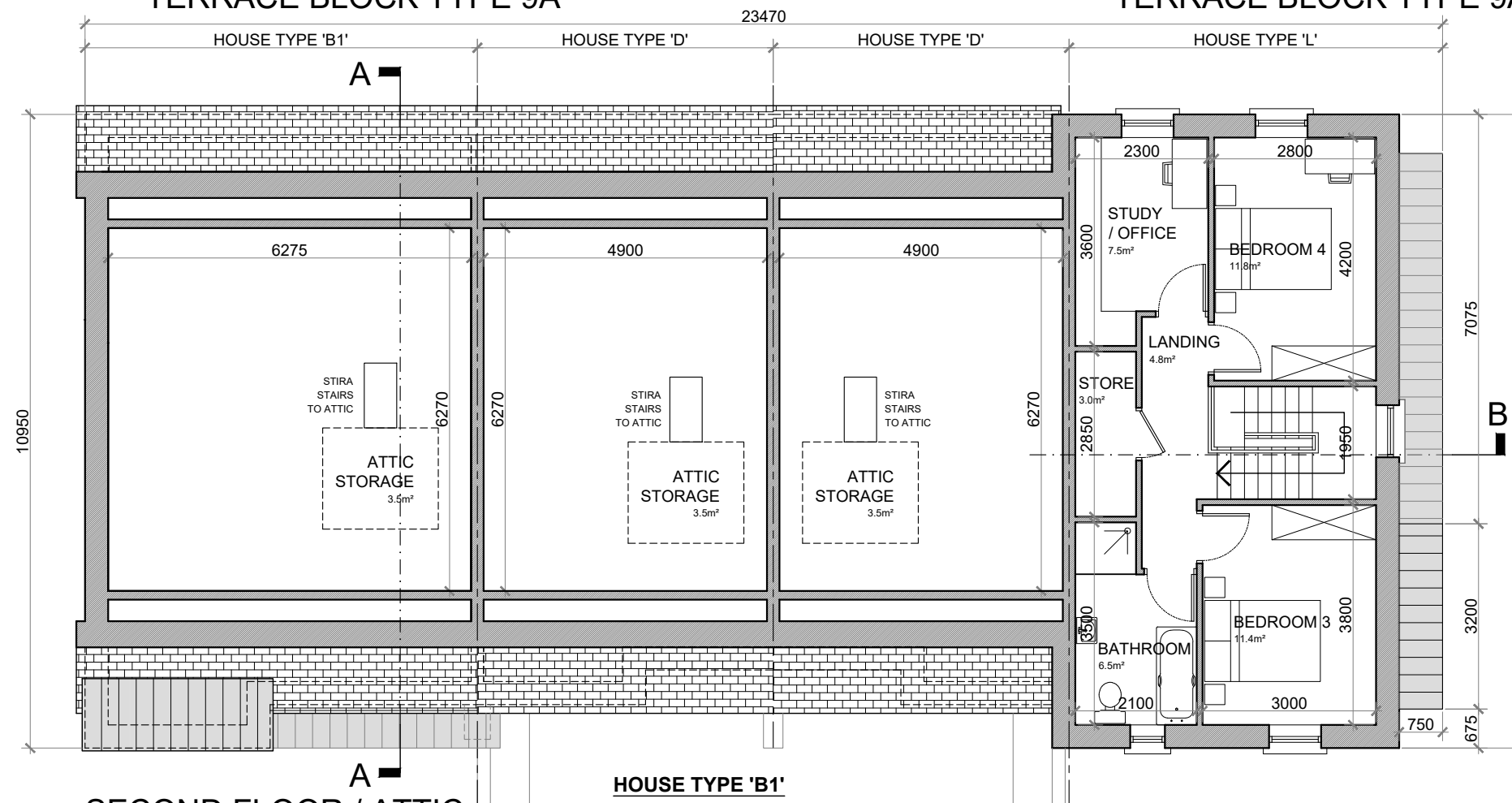
GROUND FLOOR AREA: 44.6 SQ.M. (480 SQ.FT.)  
FIRST FLOOR AREA: 44.6 SQ.M. (480 SQ.FT.)  
TOTAL FLOOR AREA: 89.2 SQ.M. (960 SQ.FT.)

#### HOUSE TYPE 'L'

GROUND FLOOR AREA: 56.4 SQ.M. (607 SQ.FT.)  
FIRST FLOOR AREA: 54.6 SQ.M. (588 SQ.FT.)  
SECOND FLOOR: 52.8 SQ.M. (568 SQ.FT.)  
TOTAL FLOOR AREA: 163.8 SQ.M. (1,763 SQ.FT.)



SIDE ELEVATION (DUAL FRONTAGE) @ 1:100  
TERRACE BLOCK TYPE 9A



SECOND FLOOR / ATTIC  
STORAGE PLAN @ 1:100  
TERRACE BLOCK TYPE 9A

#### HOUSE TYPE 'B1'

##### 3 BED TERRACE—6 PERSON

##### FLOOR AREA / ROOM WIDTH REQUIREMENTS\*:

AREAS:	PROVIDED:	MIN. REQUIRED:
MAIN LIVING ROOM	18.9 M <sup>2</sup>	15 M <sup>2</sup>
BEDROOM 1	11.4 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 2	14.1 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 3 (MAIN)	14.7 M <sup>2</sup>	13 M <sup>2</sup>
AGGREGATE LIVING	39.7 M <sup>2</sup>	37 M <sup>2</sup>
AGGREGATE BEDROOM	40.2 M <sup>2</sup>	36 M <sup>2</sup>
GROSS STORAGE	10.7 M <sup>2</sup>	6 M <sup>2</sup> (WCC 10 M <sup>2</sup> )
GROSS FLOOR SPACE	121.6 M <sup>2</sup>	100 M <sup>2</sup> (WCC 100 M <sup>2</sup> )

WIDTHS:	PROVIDED:	MIN. REQUIRED:
LIVING ROOM	4.075 M	3.8 M
BEDROOM 1 (DOUBLE)	2.9 M	2.8 M
BEDROOM 2 (DOUBLE)	3.15 M	2.8 M
BEDROOM 3 (DOUBLE)	3.275 M	2.8 M

\*FIGURES TAKEN FROM *QUALITY HOUSING FOR SUSTAINABLE COMMUNITIES* PUBLISHED BY THE DOEHLG.

#### HOUSE TYPE 'L'

##### 4 BED TERRACE—8 PERSON

##### FLOOR AREA / ROOM WIDTH REQUIREMENTS\*:

AREAS:	PROVIDED:	MIN. REQUIRED:
MAIN LIVING ROOM	21.6 M <sup>2</sup>	15 M <sup>2</sup>
BEDROOM 1 (MAIN)	17.2 M <sup>2</sup>	13 M <sup>2</sup>
BEDROOM 2	14.3 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 3	11.8 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 4	11.8 M <sup>2</sup>	11.4 M <sup>2</sup>
AGGREGATE LIVING	42.3 M <sup>2</sup>	40 M <sup>2</sup>
AGGREGATE BEDROOM	54.7 M <sup>2</sup>	43 M <sup>2</sup>
GROSS STORAGE	10 M <sup>2</sup>	6 M <sup>2</sup> (WCC 10 M <sup>2</sup> )
GROSS FLOOR SPACE	163.8 M <sup>2</sup>	120 M <sup>2</sup> (WCC 110 M <sup>2</sup> )

WIDTHS:	PROVIDED:	MIN. REQUIRED:
LIVING ROOM	3.8 M	3.8 M
BEDROOM 1 (DOUBLE)	3.4 M	2.8 M
BEDROOM 2 (DOUBLE)	3.4 M	2.8 M
BEDROOM 3 (DOUBLE)	3.0 M	2.8 M
BEDROOM 4 (DOUBLE)	2.8 M	2.8 M

\*FIGURES TAKEN FROM *QUALITY HOUSING FOR SUSTAINABLE COMMUNITIES* PUBLISHED BY THE DOEHLG.

#### HOUSE TYPE 'D'

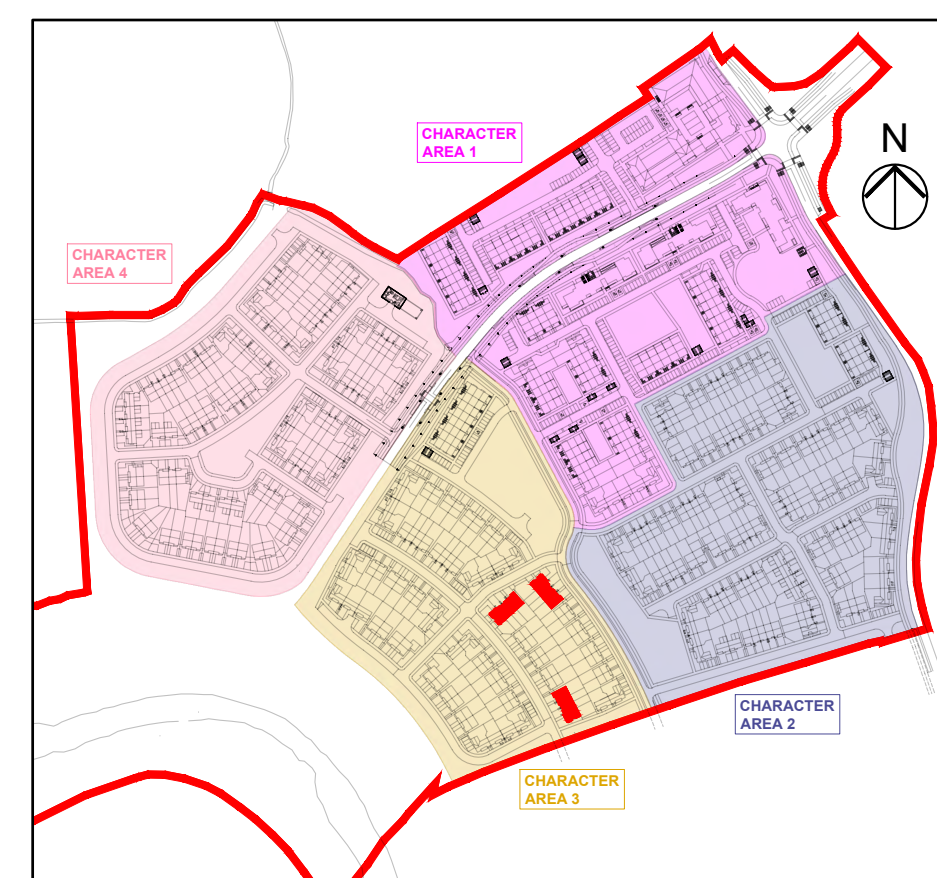
##### 2 BED TERRACE—4 PERSON

##### FLOOR AREA / ROOM WIDTH REQUIREMENTS\*:

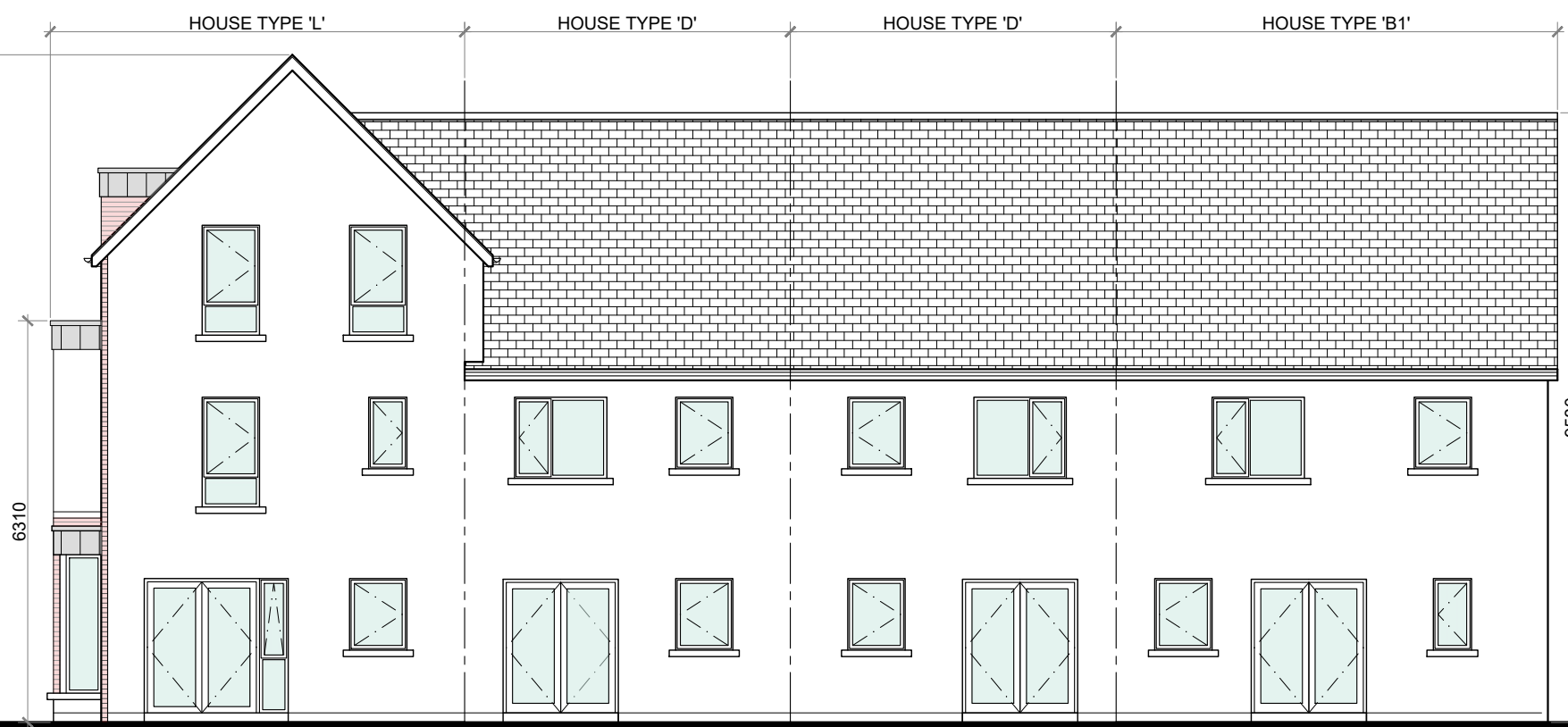
AREAS:	PROVIDED:	MIN. REQUIRED:
MAIN LIVING ROOM	15.1 M <sup>2</sup>	13 M <sup>2</sup>
BEDROOM 1	11.5 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 2 (MAIN)	15.2 M <sup>2</sup>	13 M <sup>2</sup>
AGGREGATE LIVING	33.5 M <sup>2</sup>	30 M <sup>2</sup>
AGGREGATE BEDROOM	26.7 M <sup>2</sup>	25 M <sup>2</sup>
GROSS STORAGE	8.5 M <sup>2</sup>	4 M <sup>2</sup> (WCC 8 M <sup>2</sup> )
GROSS FLOOR SPACE	89.2 M <sup>2</sup>	80 M <sup>2</sup> (WCC 85 M <sup>2</sup> )

WIDTHS:	PROVIDED:	MIN. REQUIRED:
LIVING ROOM (OPEN PLAN)	4.9 M	3.6 M
BEDROOM 1 (DOUBLE)	2.8 M	2.8 M
BEDROOM 2 (DOUBLE)	2.8 M	2.8 M

\*FIGURES TAKEN FROM *QUALITY HOUSING FOR SUSTAINABLE COMMUNITIES* PUBLISHED BY THE DOEHLG.



KEY PLAN



REAR ELEVATION @ 1:100  
TERRACE BLOCK TYPE 9A

#### PROPOSED FINISHES:

SLATE / TILED FINISH TO ROOF  
WITH STANDING SEAM ZINC CLAD  
FINISH (OR SIMILAR APPROVED)  
TO FLAT ROOF AREAS &  
ENTRANCE CANOPIES AS  
INDICATED.

UPVC / ALUMINIUM FINISH TO  
FASCIA, GUTTERS AND  
DOWNPIPES.

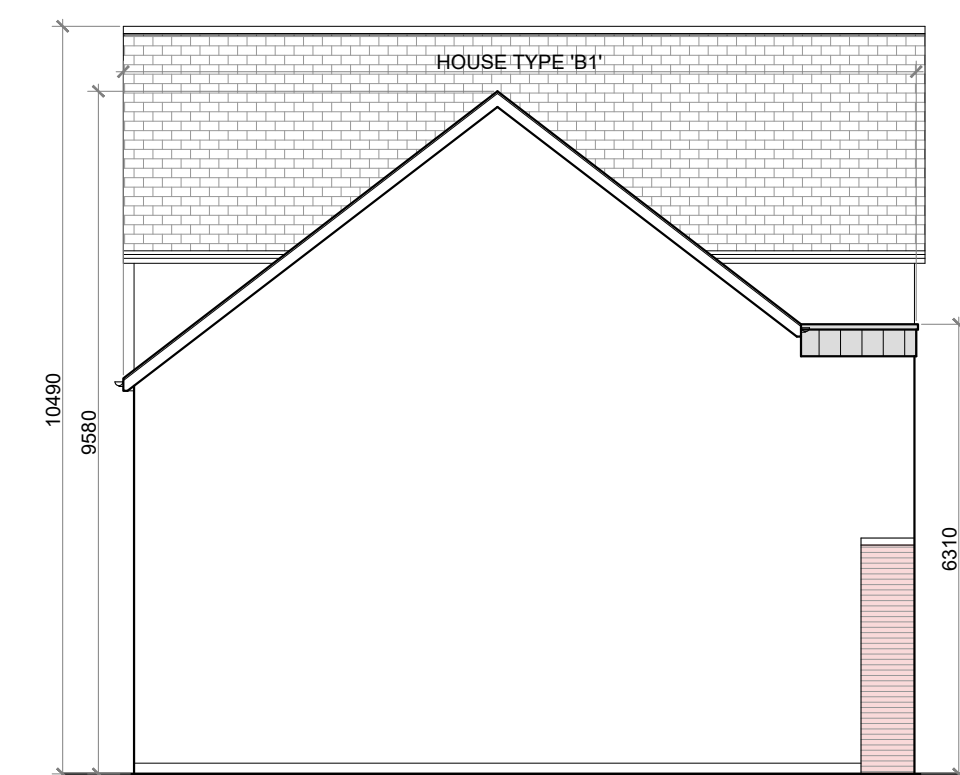
SELECTED BRICK FINISH TO  
AREAS AS INDICATED.

PLASTER / RENDER FINISH TO  
WALLS AS INDICATED.

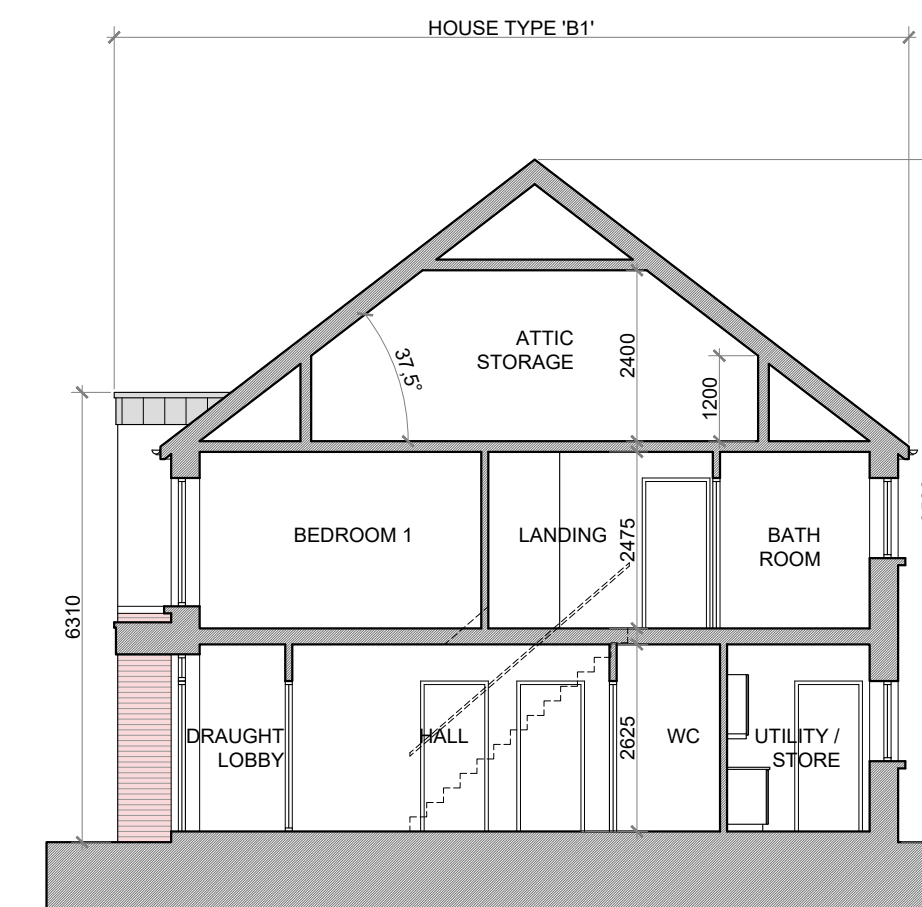
UPVC / ALUMINIUM / TIMBER FINISH  
TO WINDOWS AND DOORS.

PAINTED CONCRETE / STONE  
SILLS AND CAPPINGS.

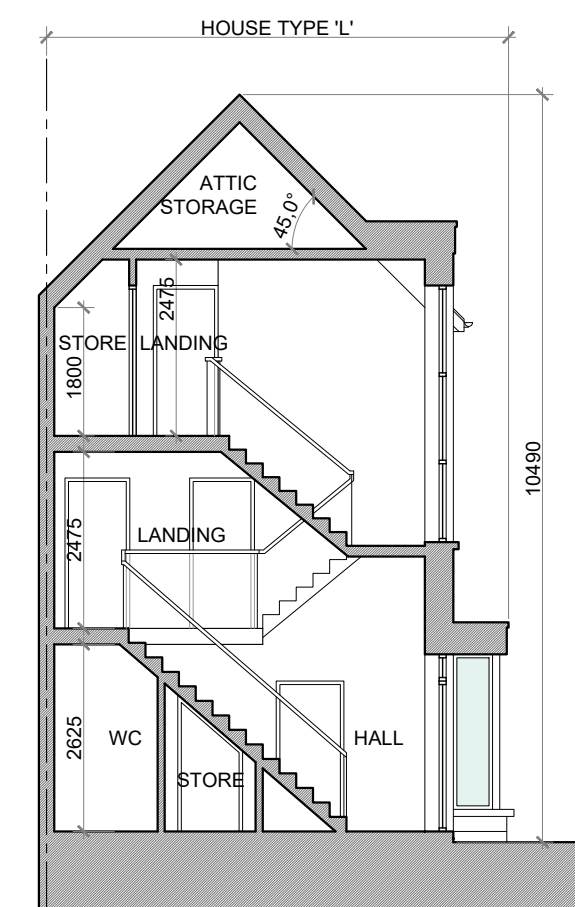
PLASTER / RENDER FINISH TO  
PLINTH.



SIDE ELEVATION @ 1:100  
TERRACE BLOCK TYPE 9A



SECTION A-A @ 1:100  
TERRACE BLOCK TYPE 9A



SECTION B-B @ 1:100  
TERRACE BLOCK TYPE 9A

TERRACE BLOCK TYPE 9A—CHARACTER AREA 3

#### NOTES:

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CHECKED ON SITE BEFORE WORK COMMENCES.

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BUILDING REGULATIONS.

REFER TO STRUCTURAL ENGINEER'S DRAWINGS AND SPECIFICATION FOR  
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NO.	REVISIONS:	DATE:	H	DATE:
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D			L	
E			M	
F			N	
G			O	

#### LEGEND:

REFER TO THE SITE LAYOUT DRAWING  
FOR THE ORIENTATION AND FLOOR  
LEVELS FOR EACH DWELLING .

OFA

O'LYNN ARCHITECTS,  
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RIA  
2021

PROJECT: PROPOSED GREAT CONNELL SHD AT NEWBRIDGE, CO. KILDARE.

TITLE: PROPOSED PLANS, ELEVATIONS & SECTION FOR TERRACE BLOCK  
TYPE 9A—CHARACTER AREA 3.

CLIENT: ASTON LTD.

STAGE: PLANNING

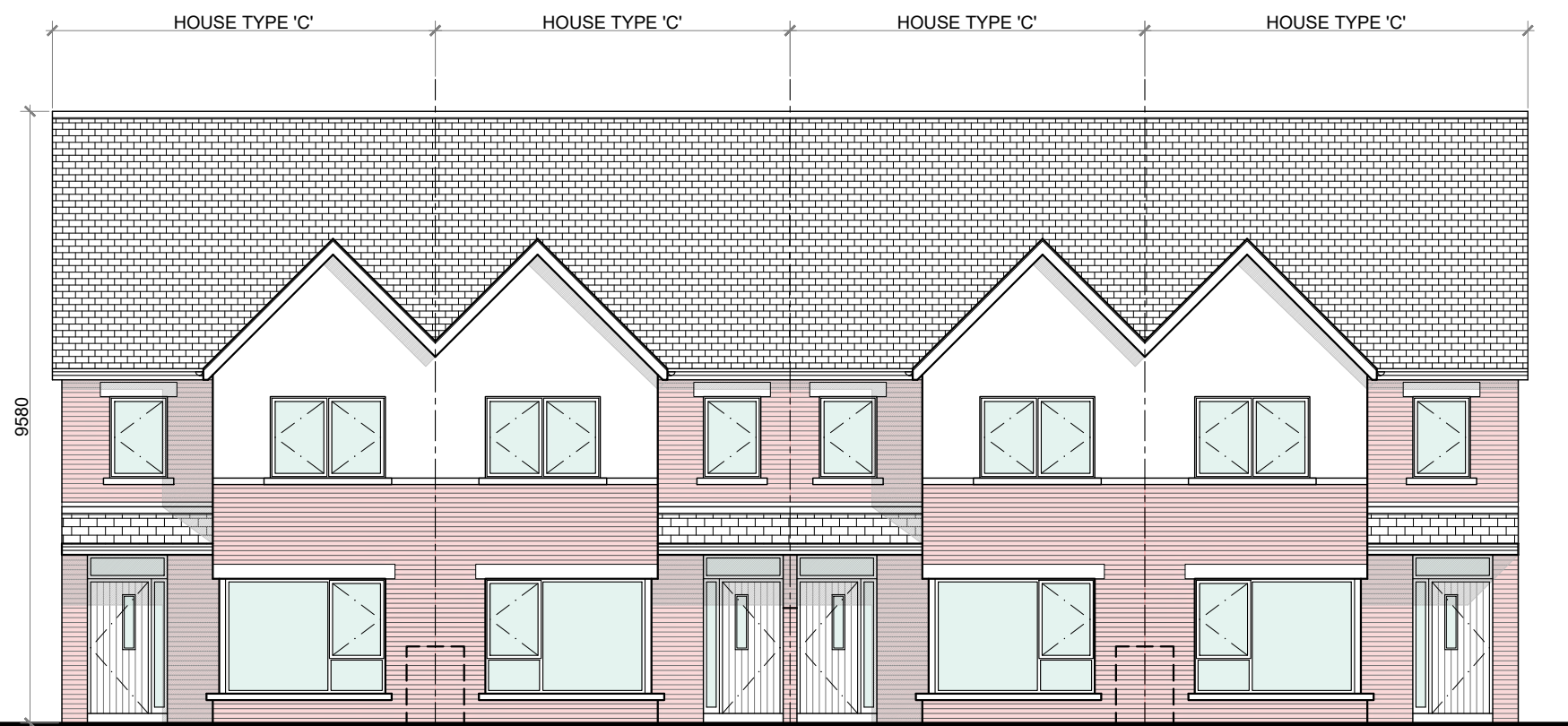
PROJECT NO.: 19070

DRG. NO.: PA-070

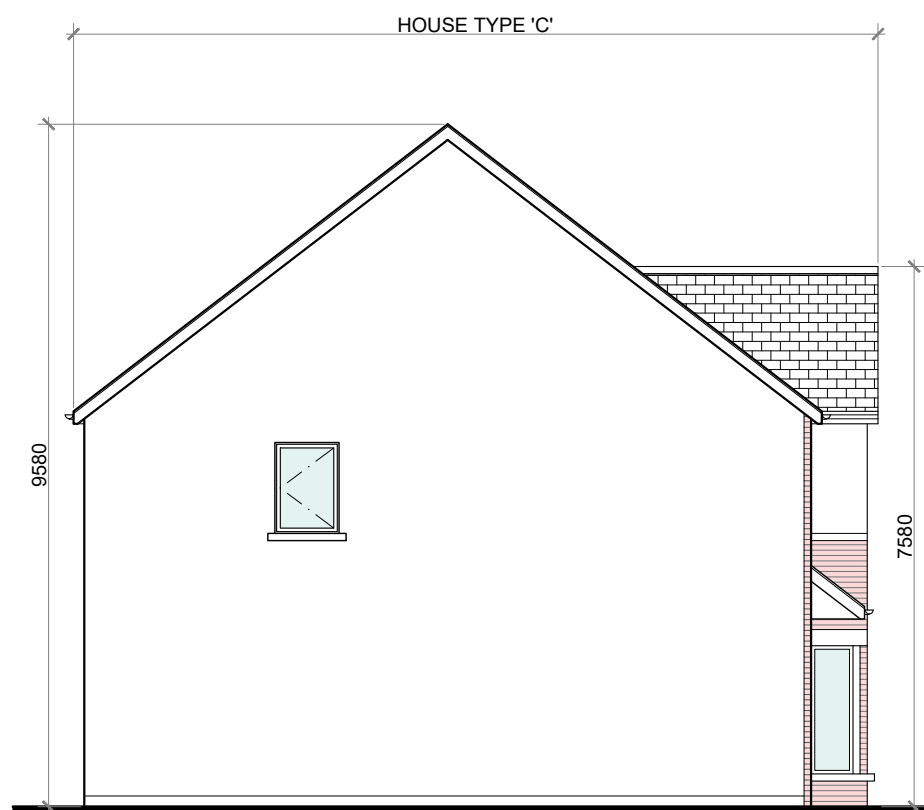
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DATE: MARCH 2022

DRAWN: POF  
CHECKED: POF

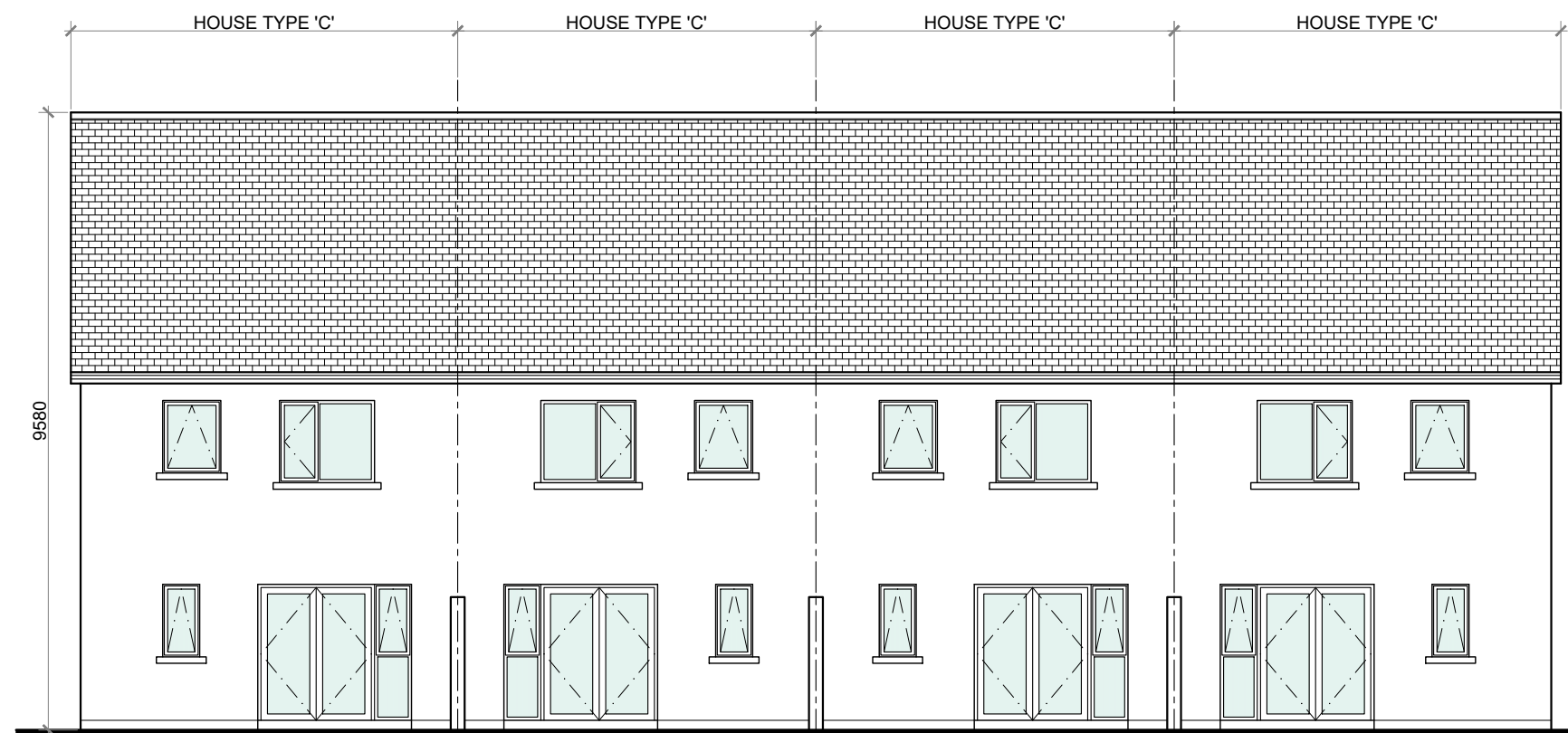




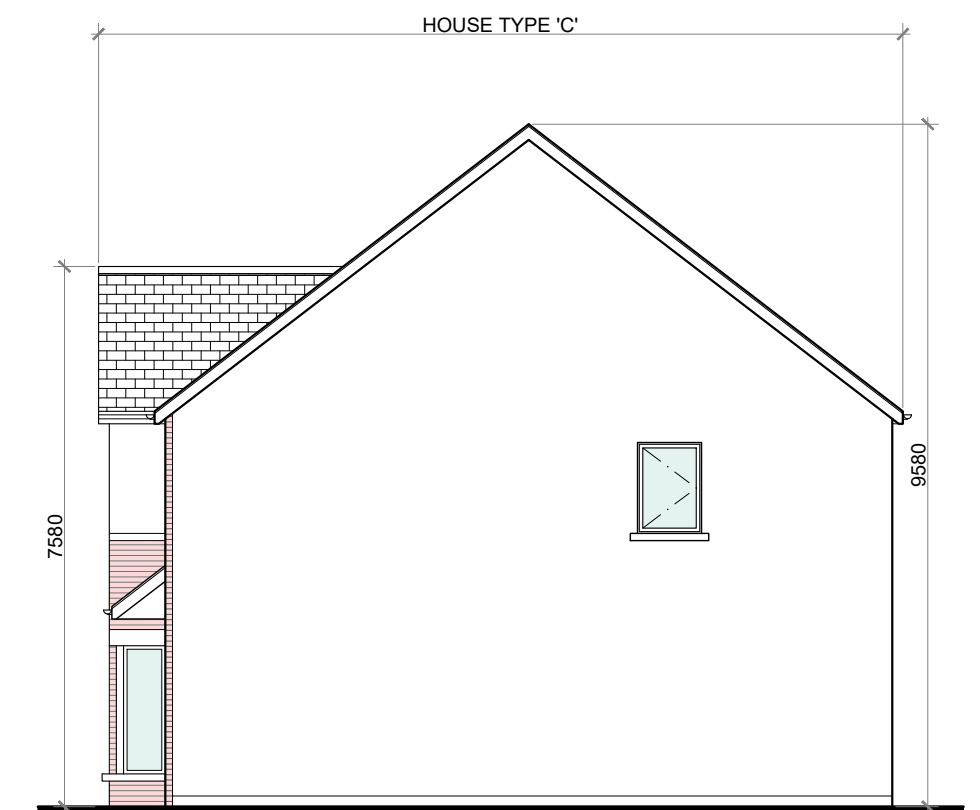
FRONT ELEVATION @ 1:100  
TERRACE BLOCK TYPE 10 (CHARACTER AREA 2)



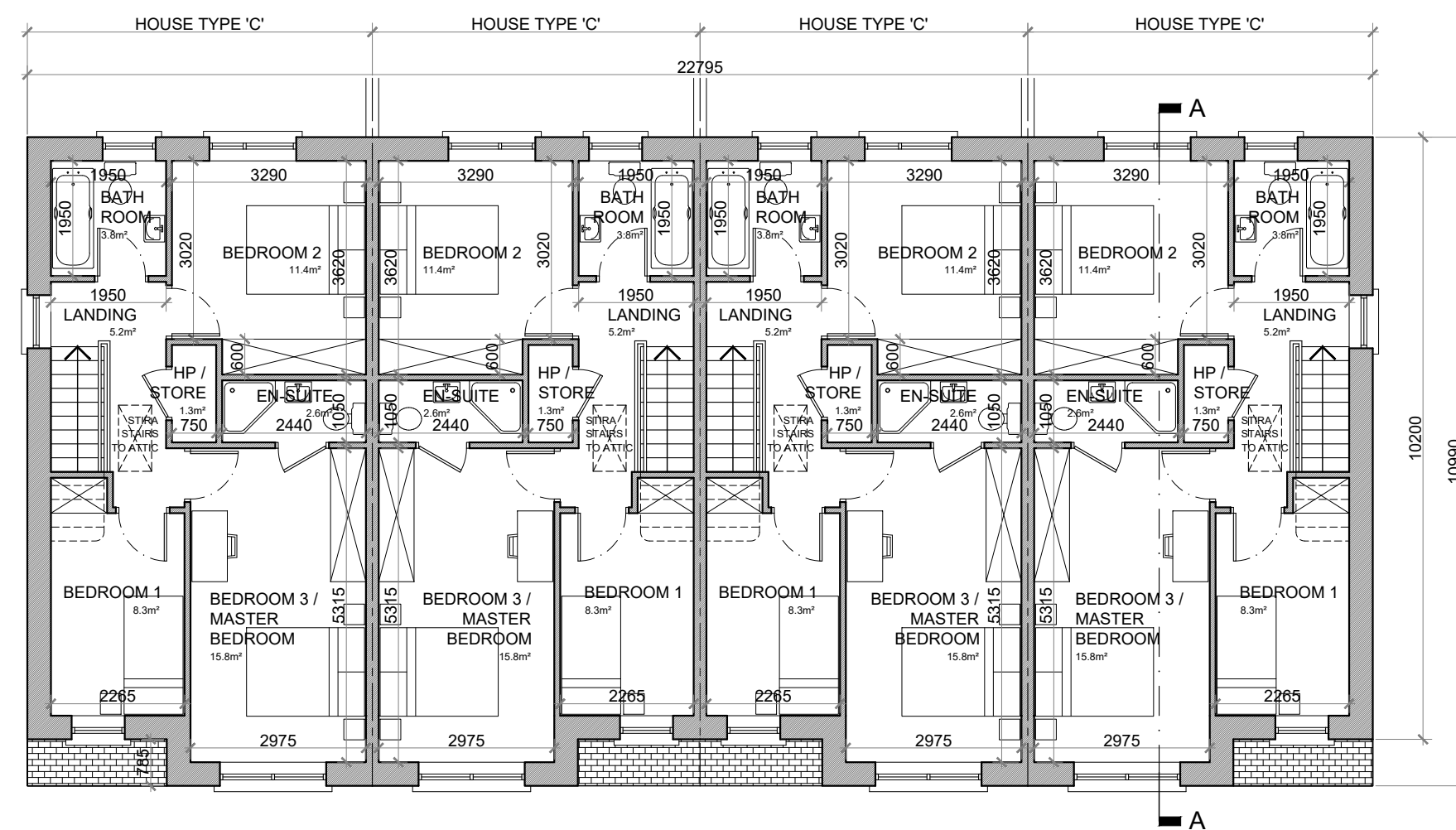
SIDE ELEVATION @ 1:100  
TERRACE BLOCK TYPE 10



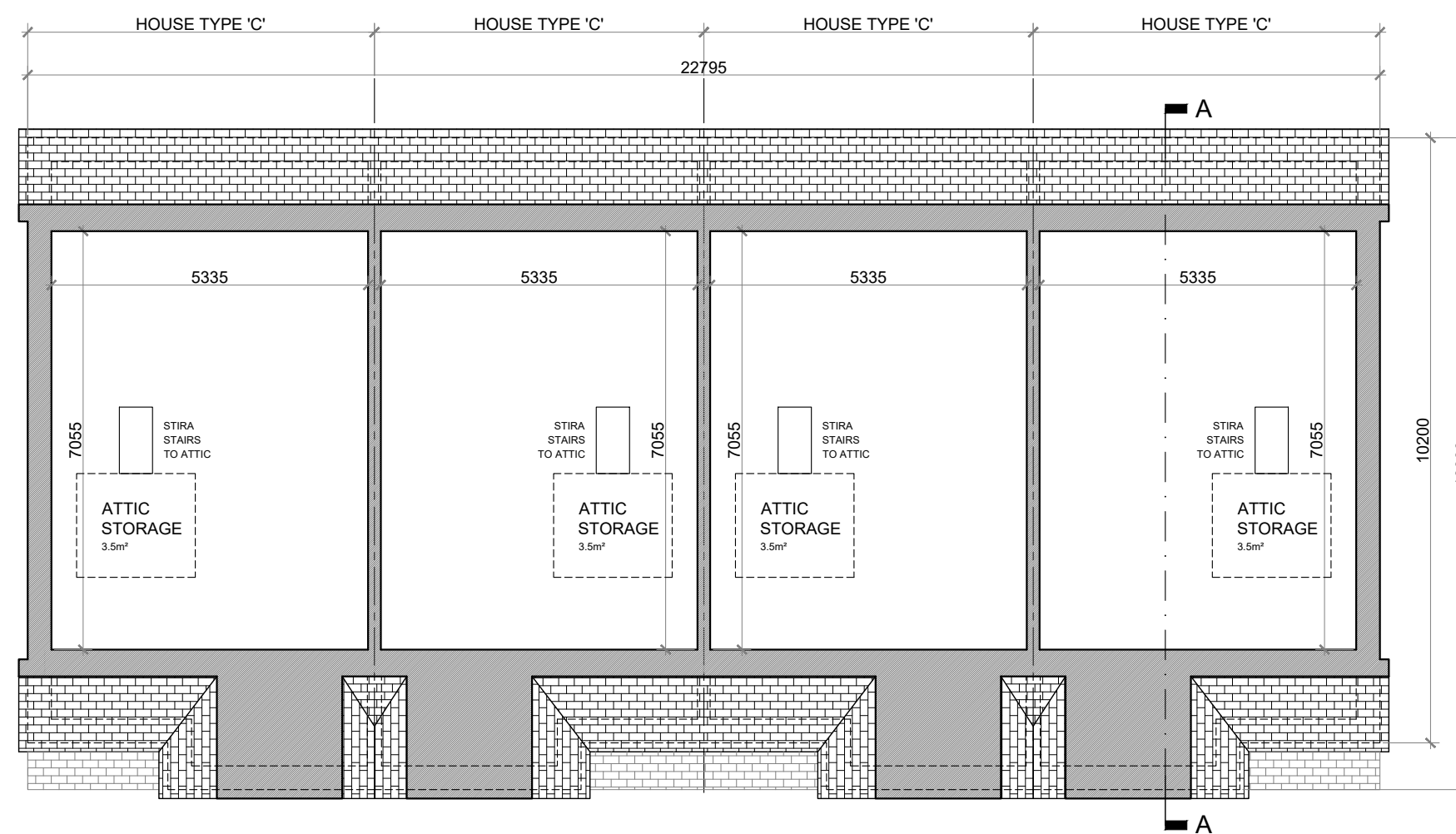
REAR ELEVATION @ 1:100  
TERRACE BLOCK TYPE 10



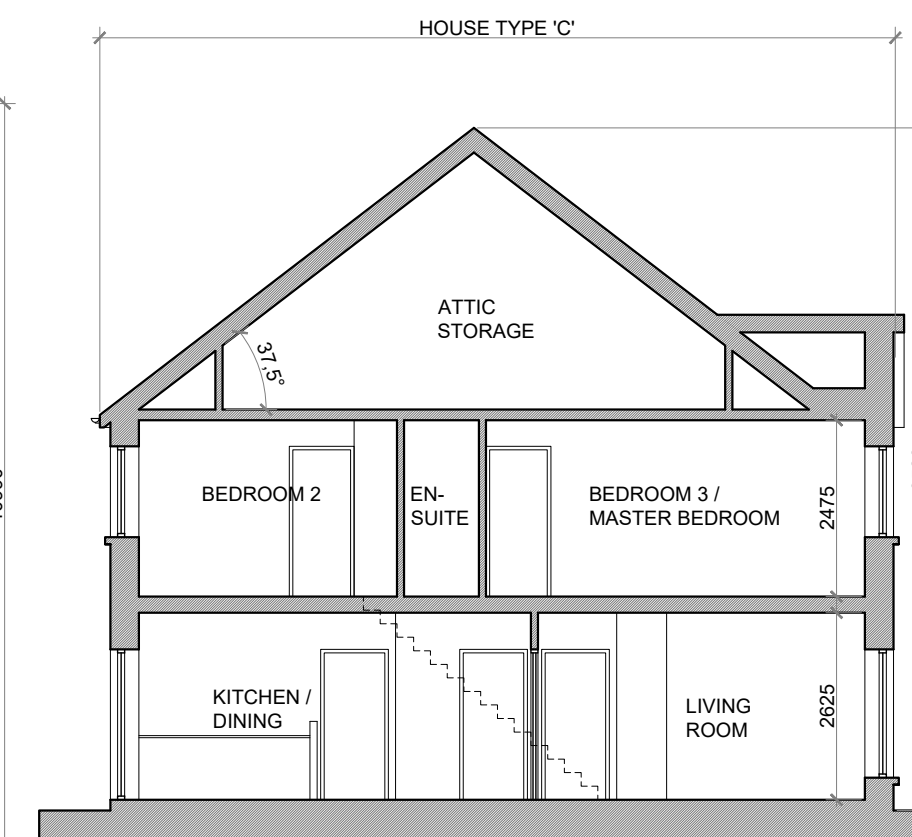
SIDE ELEVATION @ 1:100  
TERRACE BLOCK TYPE 10



FIRST FLOOR PLAN @ 1:100  
TERRACE BLOCK TYPE 10

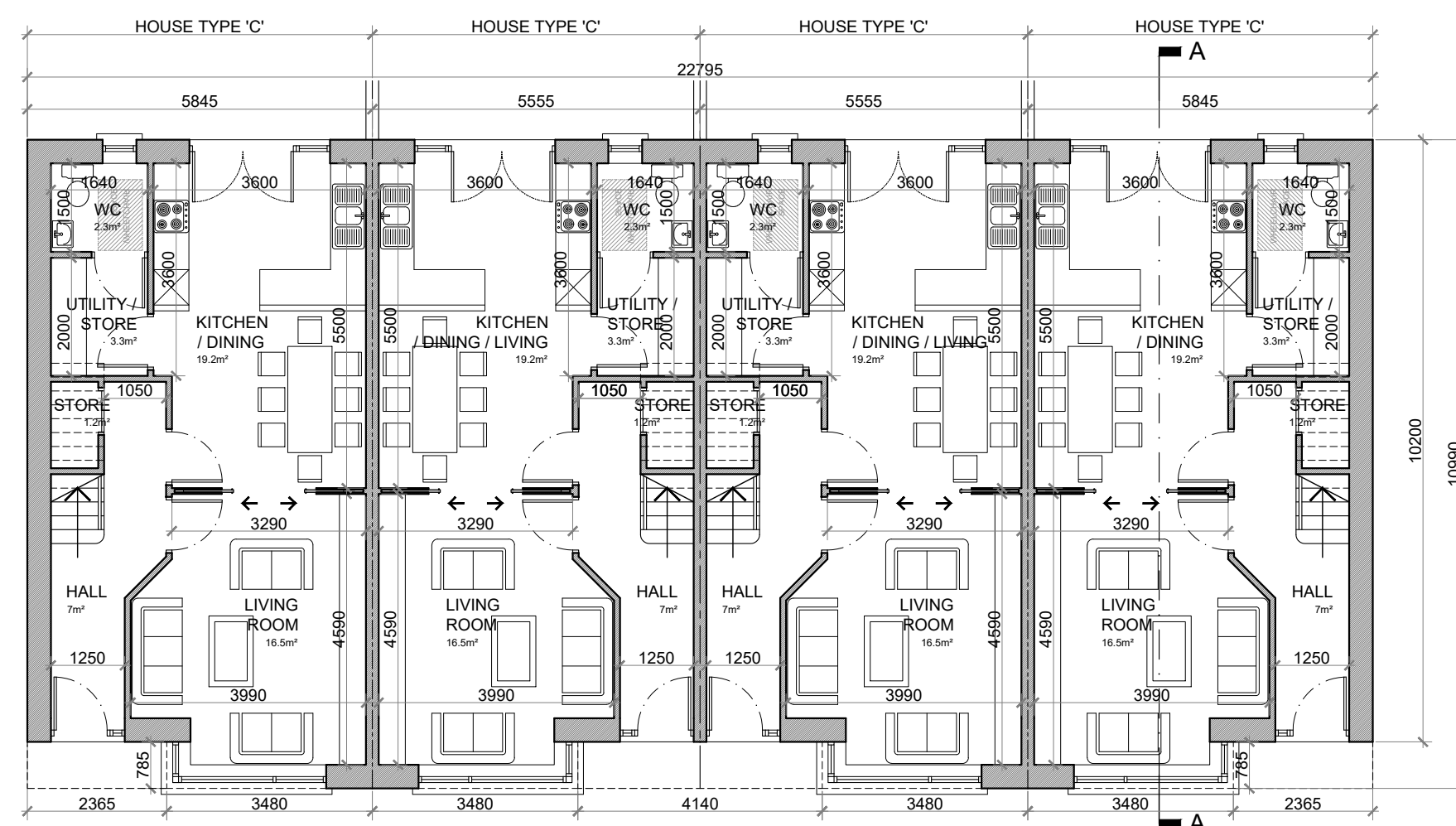


ATTIC PLAN @ 1:100  
TERRACE BLOCK TYPE 10



SECTION A-A @ 1:100  
TERRACE BLOCK TYPE 10

**PROPOSED FINISHES:**  
SLATE / TILED FINISH TO ROOF.  
UPVC / ALUMINIUM FINISH TO FASCIAS, GUTTERS AND DOWNPIPES.  
SELECTED BRICK FINISH TO AREAS AS INDICATED.  
PLASTER / RENDER FINISH TO WALLS AS INDICATED.  
UPVC / ALUMINIUM / TIMBER FINISH TO WINDOWS AND DOORS.  
PAINTED CONCRETE / STONE SILLS AND CAPPINGS.  
PLASTER / RENDER FINISH TO PLINTH.



GROUND FLOOR PLAN @ 1:100  
TERRACE BLOCK TYPE 10  
HOUSE TYPE 'C'

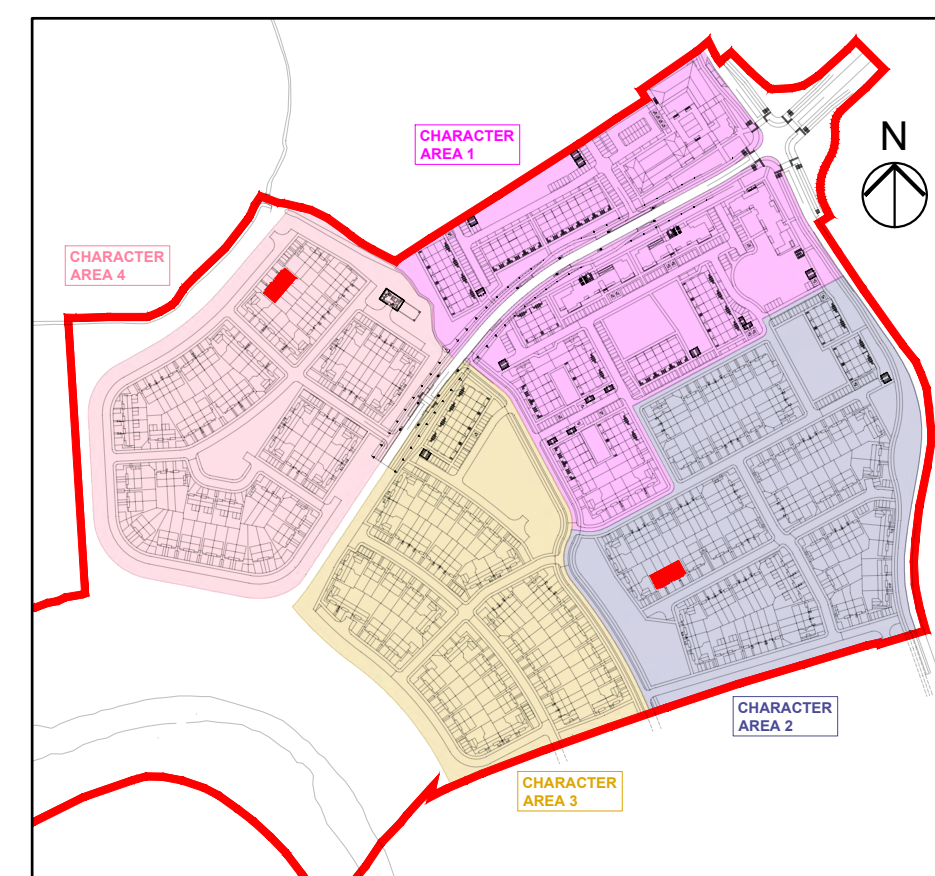
3 BED TERRACE HOUSE TYPE 'C':  
GROUND FLOOR AREA: 52.5 SQ. M. (565 SQ. FT.)  
FIRST FLOOR AREA: 52.5 SQ. M. (565 SQ. FT.)  
TOTAL FLOOR AREA: 105.0 SQ. M. (1,130 SQ. FT.)

#### HOUSE TYPE 'C': 3 BED TERRACE—5 PERSON

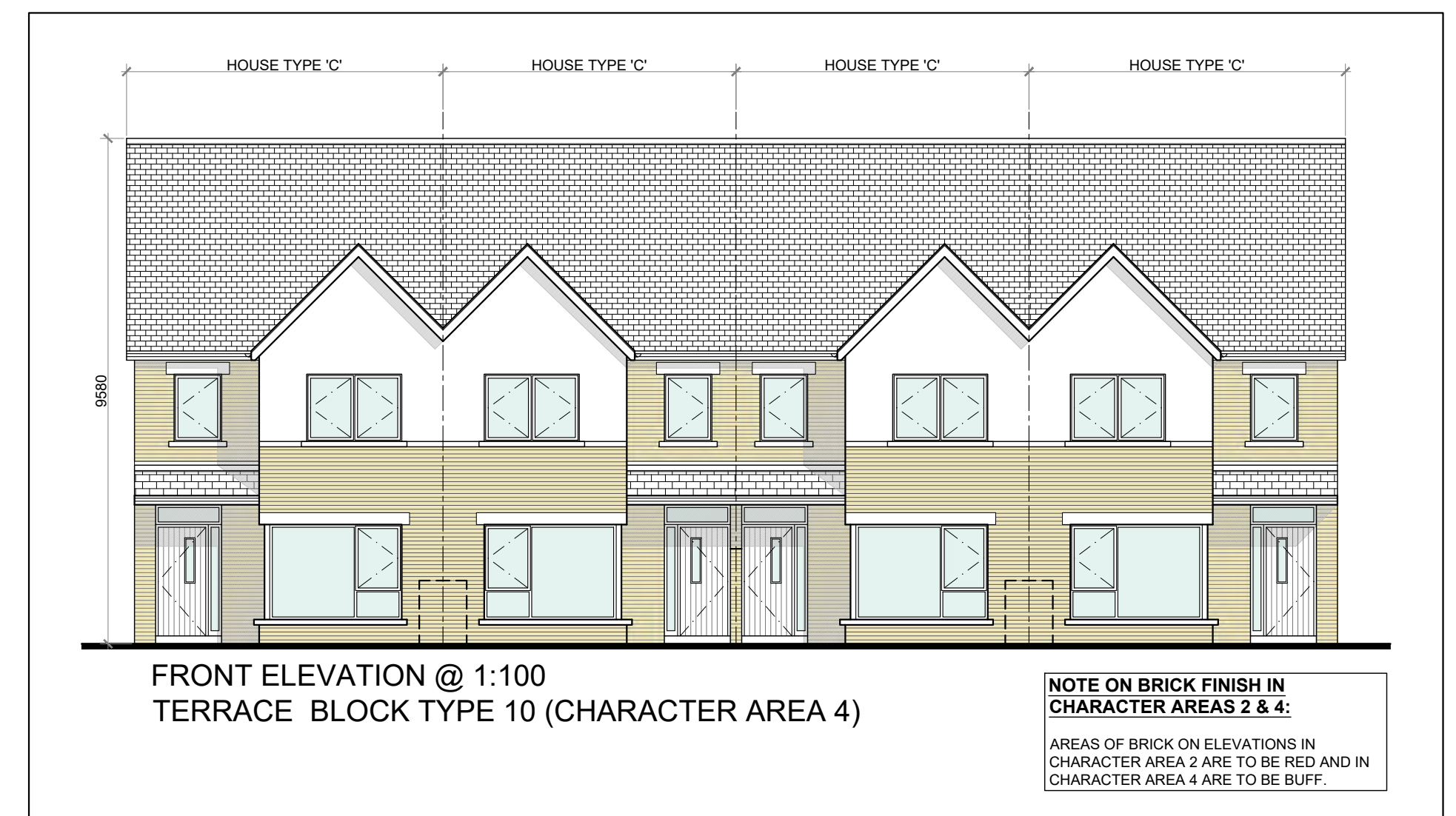
FLOOR AREA / ROOM WIDTH REQUIREMENTS*:		
AREAS:	PROVIDED:	MIN. REQUIRED:
MAIN LIVING ROOM	16.5 M <sup>2</sup>	13 M <sup>2</sup>
BEDROOM 1	8.3 M <sup>2</sup>	7.1 M <sup>2</sup>
BEDROOM 2	11.4 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 3 (MAIN)	15.8 M <sup>2</sup>	13 M <sup>2</sup>
AGGREGATE LIVING	35.7 M <sup>2</sup>	34 M <sup>2</sup>
AGGREGATE BEDROOM	35.5 M <sup>2</sup>	32 M <sup>2</sup>
GROSS STORAGE	9.3 M <sup>2</sup>	5 M <sup>2</sup> (KCC 9 M <sup>2</sup> )
GROSS FLOOR SPACE	105.0 M <sup>2</sup>	92 M <sup>2</sup> (KCC 100 M <sup>2</sup> )

WIDTHS:	PROVIDED:	MIN. REQUIRED:
LIVING ROOM	3.99 M	3.8 M
BEDROOM 1 (SINGLE)	2.27 M	2.1 M
BEDROOM 2 (DOUBLE)	3.02 M	2.8 M
BEDROOM 3 (DOUBLE)	2.98 M	2.8 M

\*FIGURES TAKEN FROM *QUALITY HOUSING FOR SUSTAINABLE COMMUNITIES* PUBLISHED BY THE DóEHLG.



KEY PLAN



FRONT ELEVATION @ 1:100  
TERRACE BLOCK TYPE 10 (CHARACTER AREA 4)

**NOTE ON BRICK FINISH IN CHARACTER AREAS 2 & 4:**  
AREAS OF BRICK ON ELEVATIONS IN CHARACTER AREA 2 ARE TO BE RED AND IN CHARACTER AREA 4 ARE TO BE BUFF.

### TERRACE BLOCK TYPE 10—CHARACTER AREAS 2 & 4

#### NOTES:

DO NOT SCALE, USE ONLY FIGURED DIMENSIONS WHICH SHOULD BE CHECKED ON SITE BEFORE WORK COMMENCES.

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REFER TO STRUCTURAL ENGINEER'S DRAWINGS AND SPECIFICATION FOR ALL STRUCTURAL WORK.

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G			O	

#### LEGEND:

REFER TO THE SITE LAYOUT DRAWING FOR THE ORIENTATION AND FLOOR LEVELS FOR EACH DWELLING .

#### OFA

O'LYNN ARCHITECTS,  
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**RIA**  
Practice  
Member  
2021

PROJECT: PROPOSED GREAT CONNELL SHD AT NEWBRIDGE, CO. KILDARE.

TITLE: PROPOSED PLANS, ELEVATIONS & SECTION FOR TERRACE BLOCK TYPE 10—CHARACTER AREAS 2 & 4.

CLIENT: ASTON LTD.

STAGE: PLANNING

PROJECT NO.: 19070

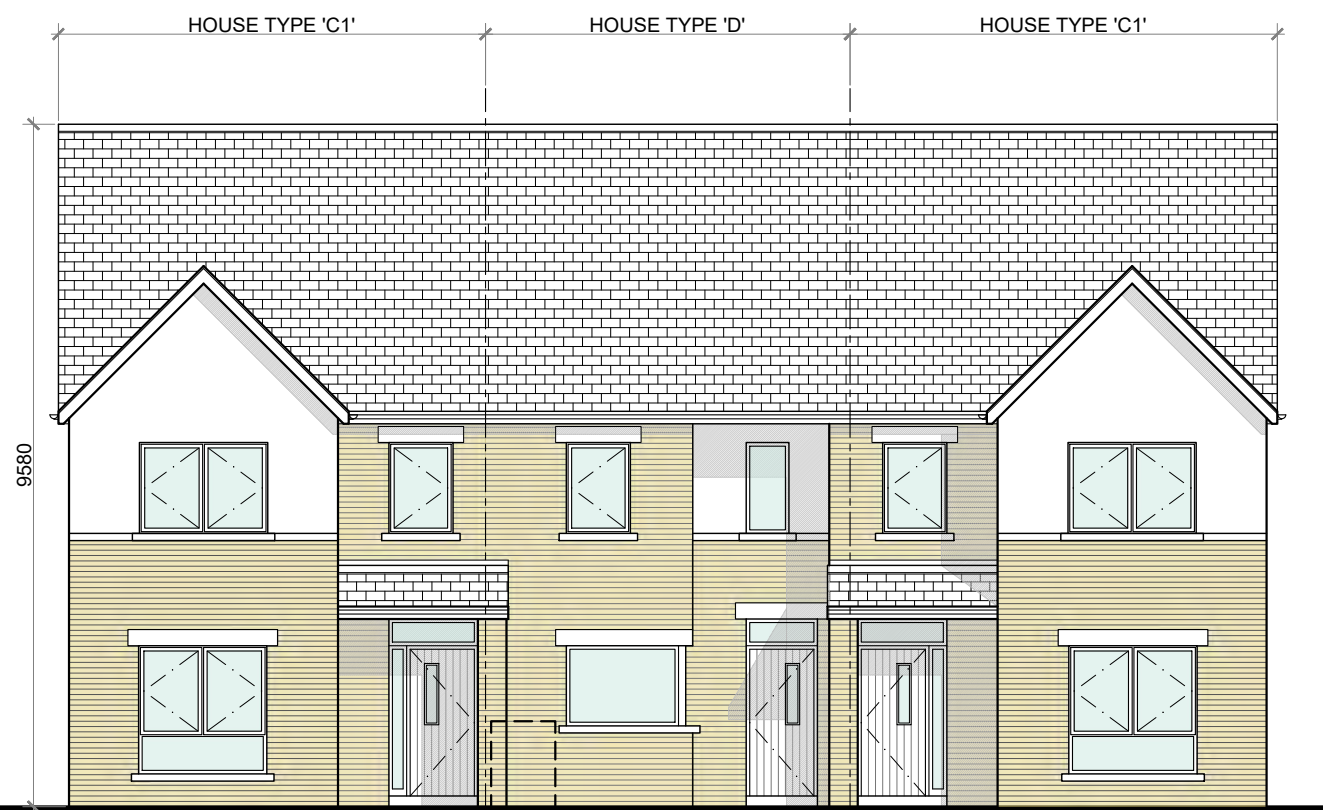
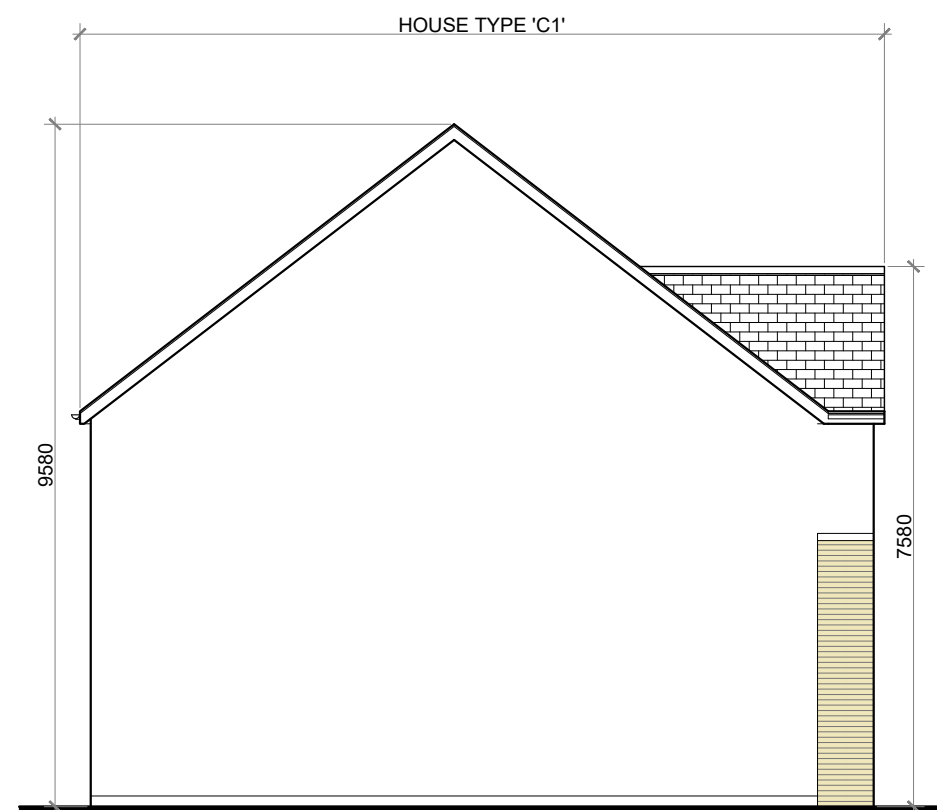
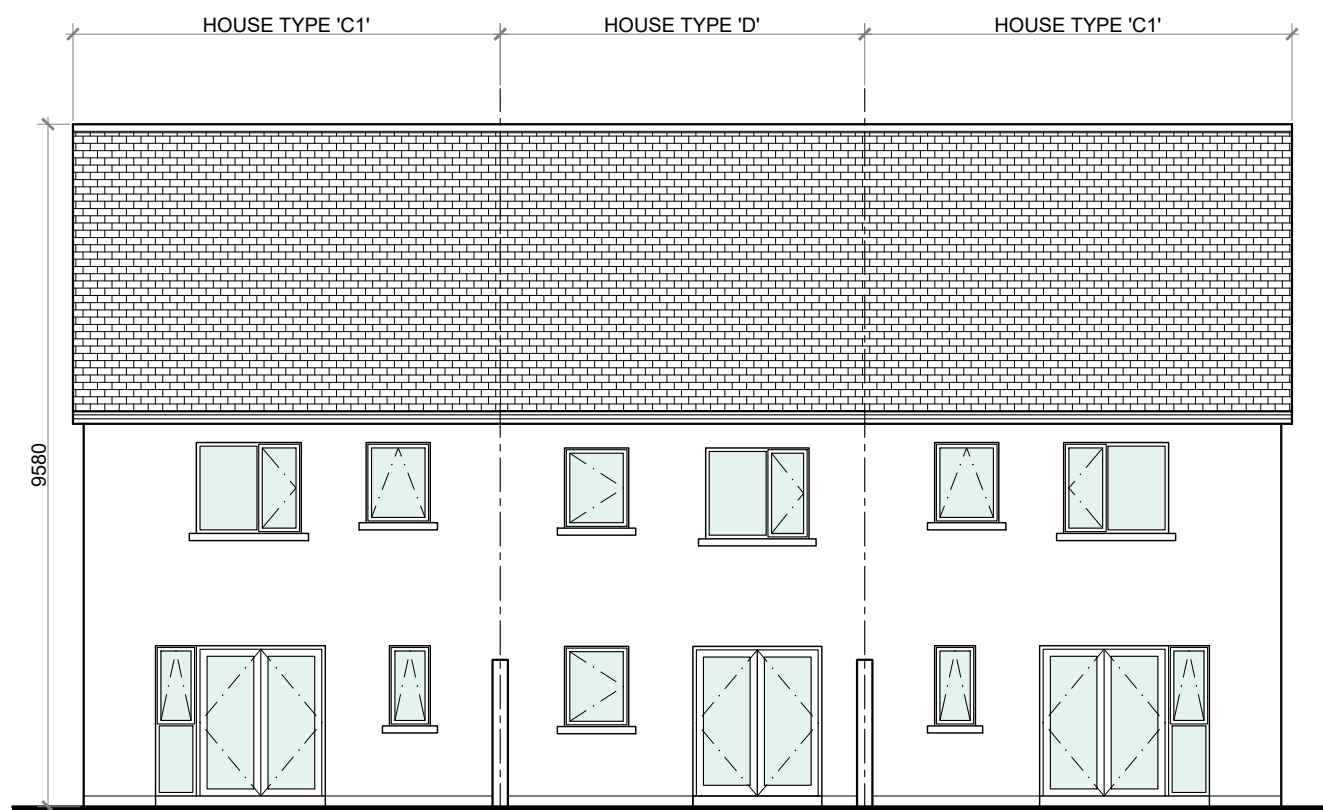
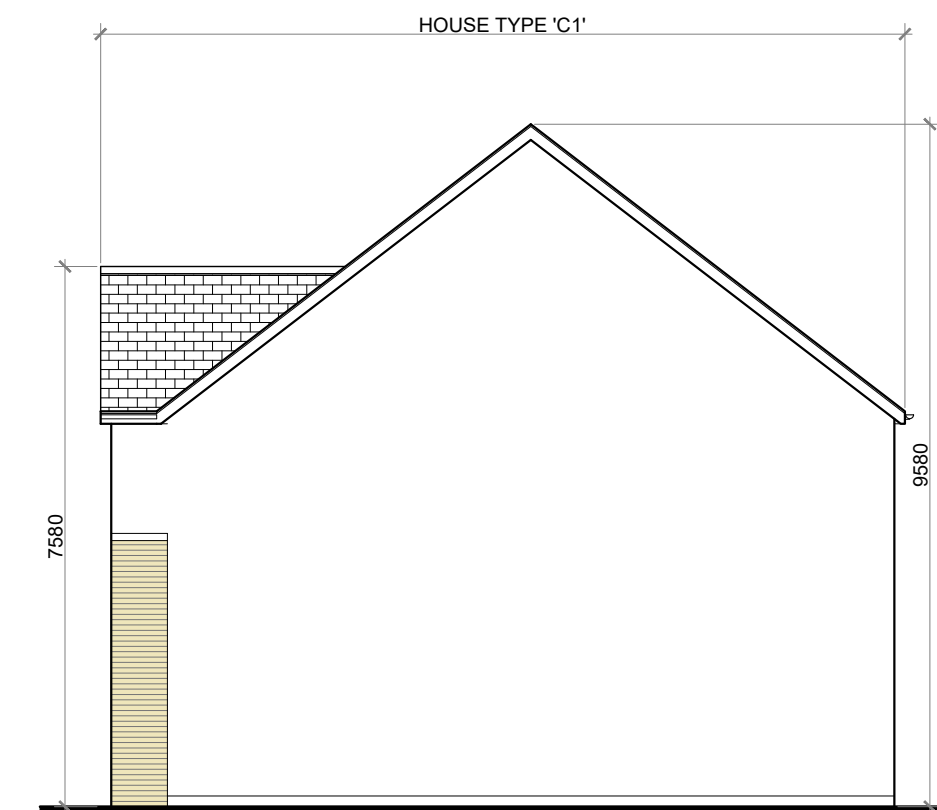
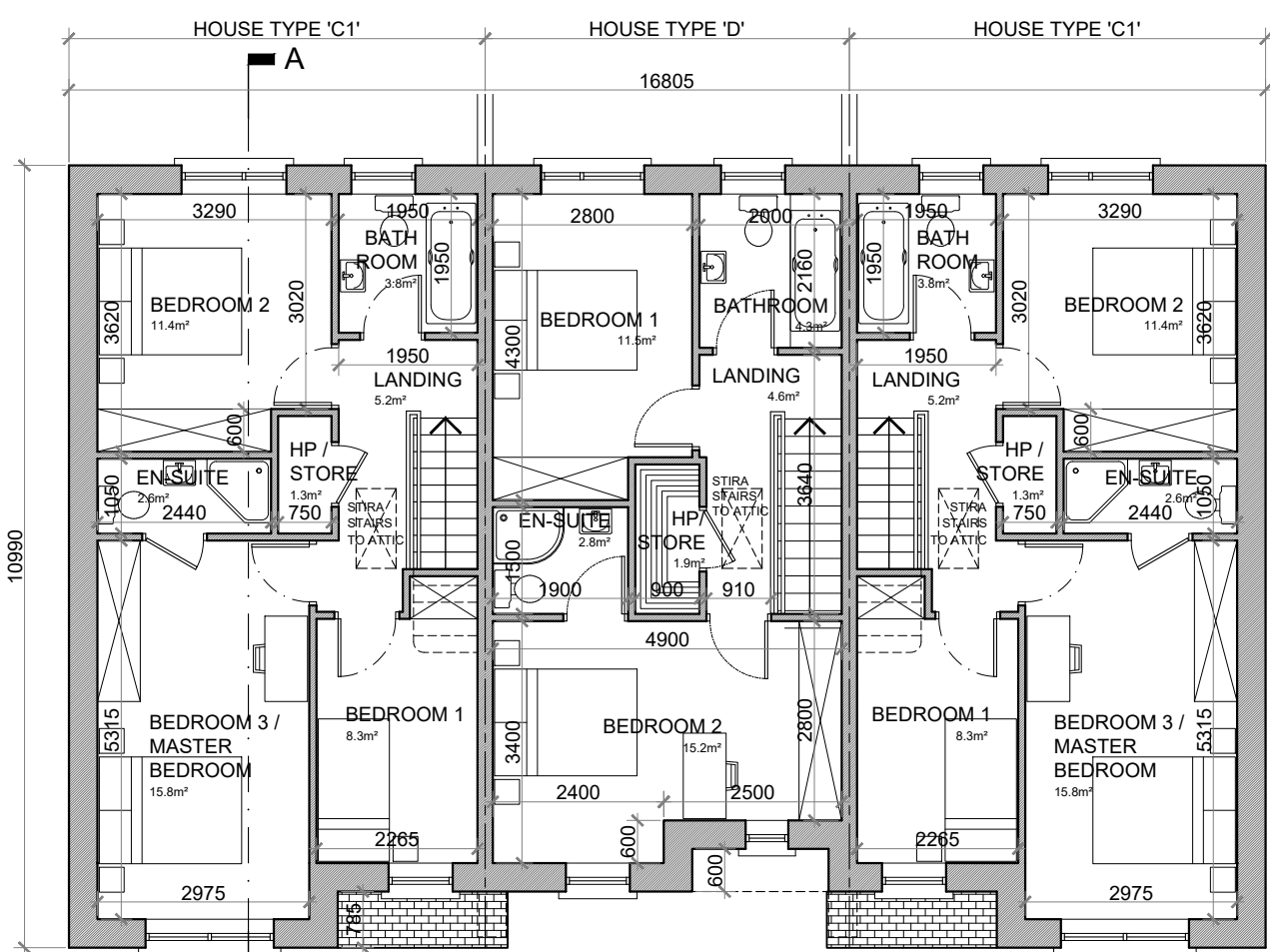
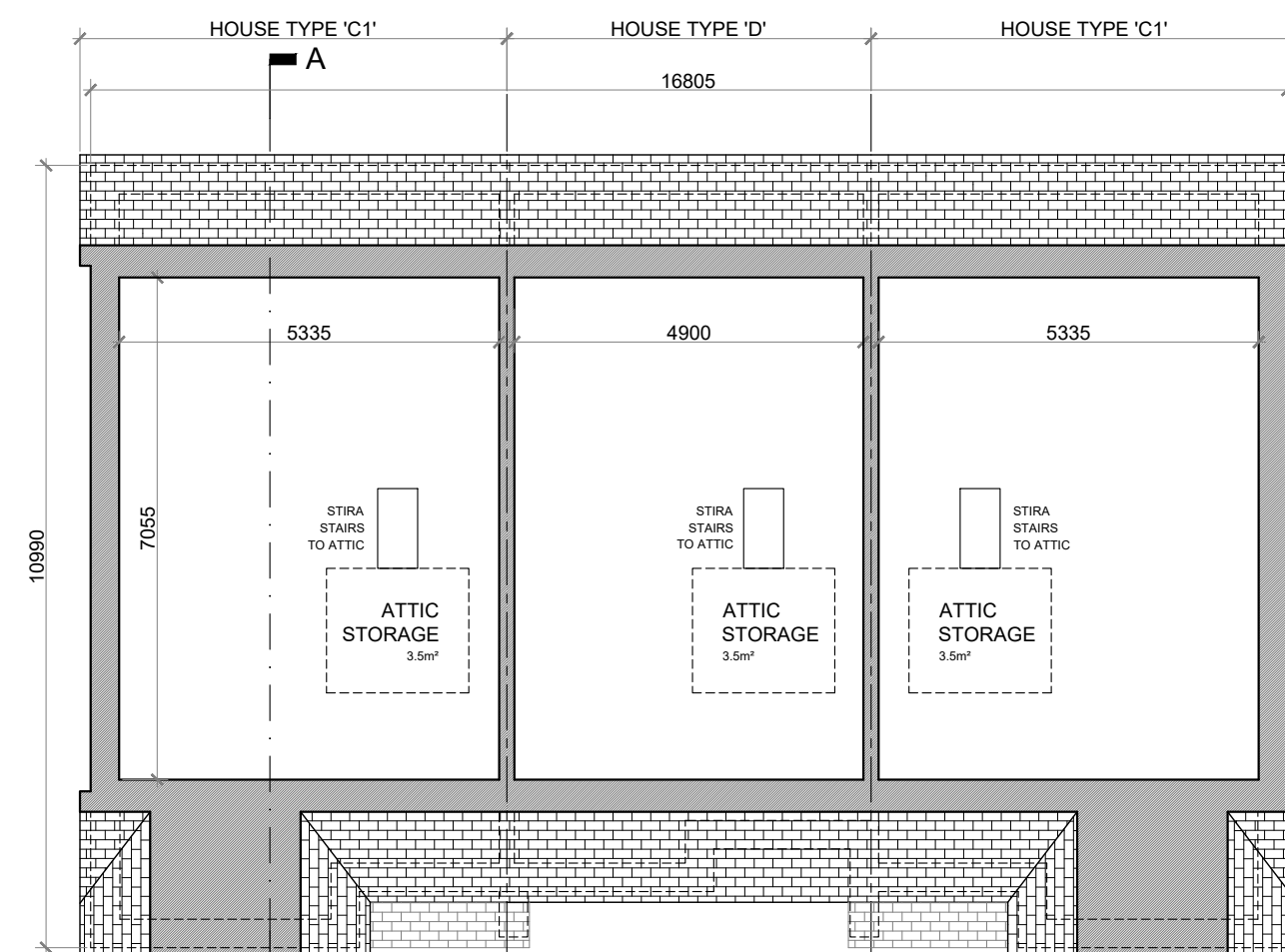
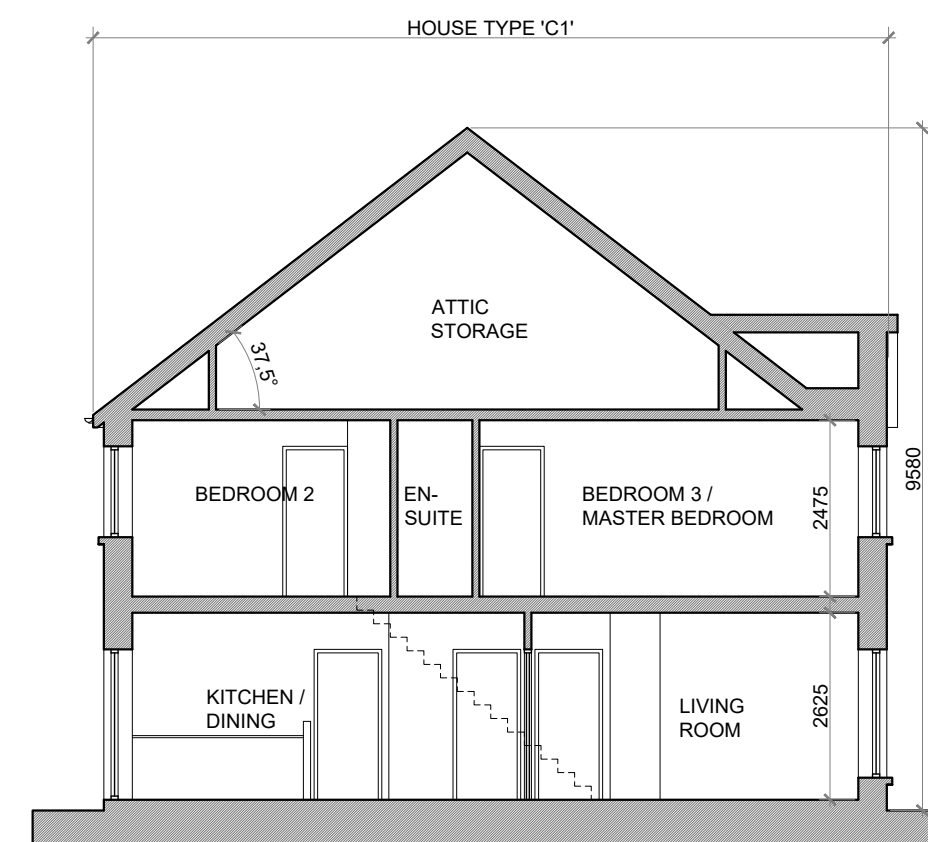
DRG. NO.: PA-071

SCALE: 1:100  
DATE: MARCH 2022

DRAWN: POF  
CHECKED: POF



A1

FRONT ELEVATION @ 1:100  
TERRACE BLOCK TYPE 11SIDE ELEVATION @ 1:100  
TERRACE BLOCK TYPE 11REAR ELEVATION @ 1:100  
TERRACE BLOCK TYPE 11SIDE ELEVATION @ 1:100  
TERRACE BLOCK TYPE 11FIRST FLOOR PLAN @ 1:100  
TERRACE BLOCK TYPE 11ATTIC PLAN @ 1:100  
TERRACE BLOCK TYPE 11SECTION A-A @ 1:100  
TERRACE BLOCK TYPE 11**PROPOSED FINISHES:**

SLATE / TILED FINISH TO ROOF.

UPVC / ALUMINIUM FINISH TO FASCIAS, GUTTERS AND DOWNPIPES.

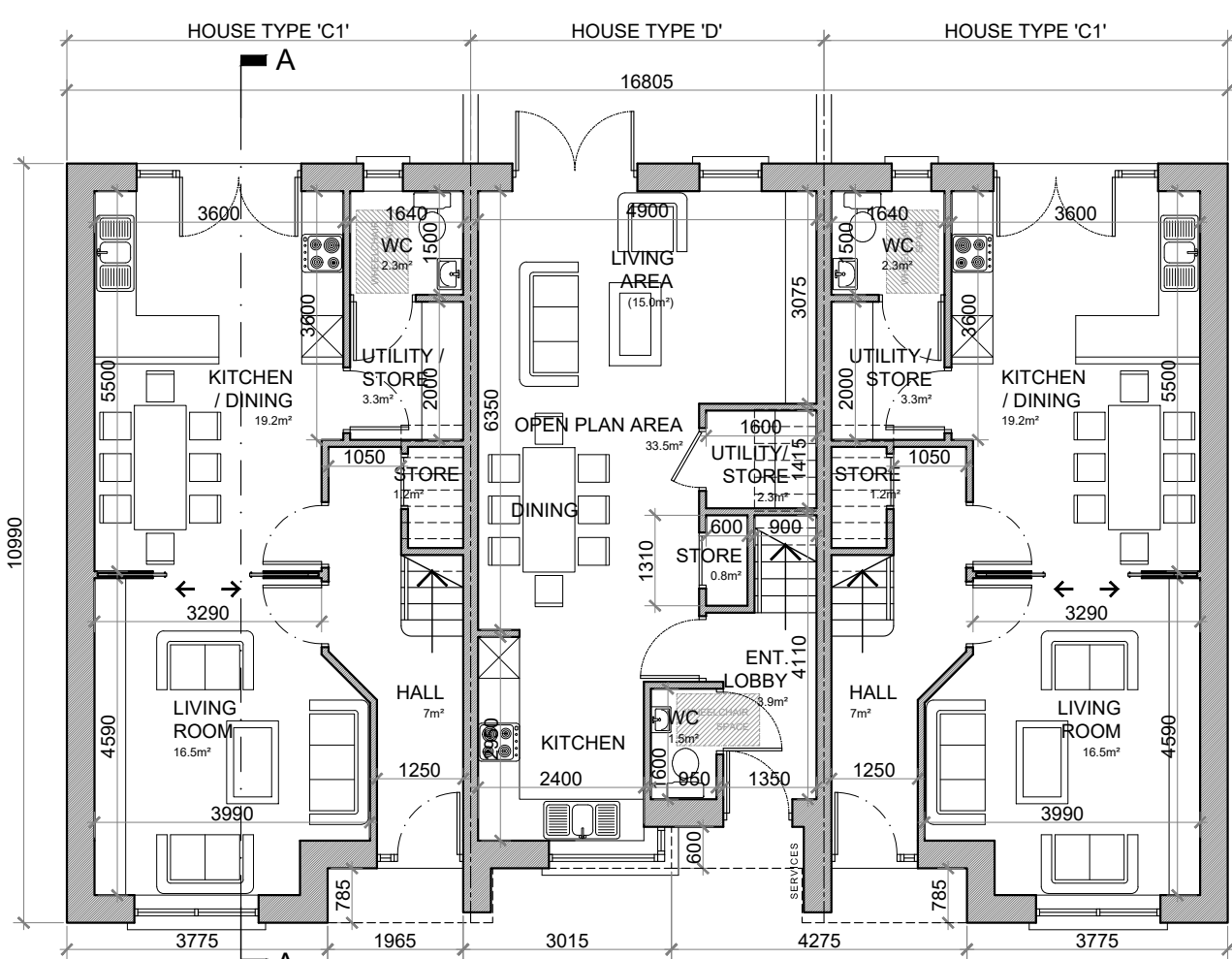
SELECTED BRICK FINISH TO AREAS AS INDICATED.

PLASTER / RENDER FINISH TO WALLS AS INDICATED.

UPVC / ALUMINIUM / TIMBER FINISH TO WINDOWS AND DOORS.

PAINTED CONCRETE / STONE SILLS AND CAPPINGS.

PLASTER / RENDER FINISH TO PLINTH.

GROUND FLOOR PLAN @ 1:100  
TERRACE BLOCK TYPE 11**HOUSE TYPE 'C1'****HOUSE TYPE 'D'****3 BED TERRACE HOUSE TYPE 'C1':**  
GROUND FLOOR AREA: 52.5 SQ. M. (565 SQ. FT.)  
FIRST FLOOR AREA: 52.5 SQ. M. (565 SQ. FT.)  
TOTAL FLOOR AREA: 105.0 SQ. M. (1,130 SQ. FT.)**2 BED MID TERRACE HOUSE TYPE 'D':**  
GROUND FLOOR AREA: 44.6 SQ. M. (480 SQ. FT.)  
FIRST FLOOR AREA: 44.6 SQ. M. (480 SQ. FT.)  
TOTAL FLOOR AREA: 89.2 SQ. M. (960 SQ. FT.)**HOUSE TYPE 'C1':****3 BED TERRACE—5 PERSON****FLOOR AREA / ROOM WIDTH REQUIREMENTS\*:**

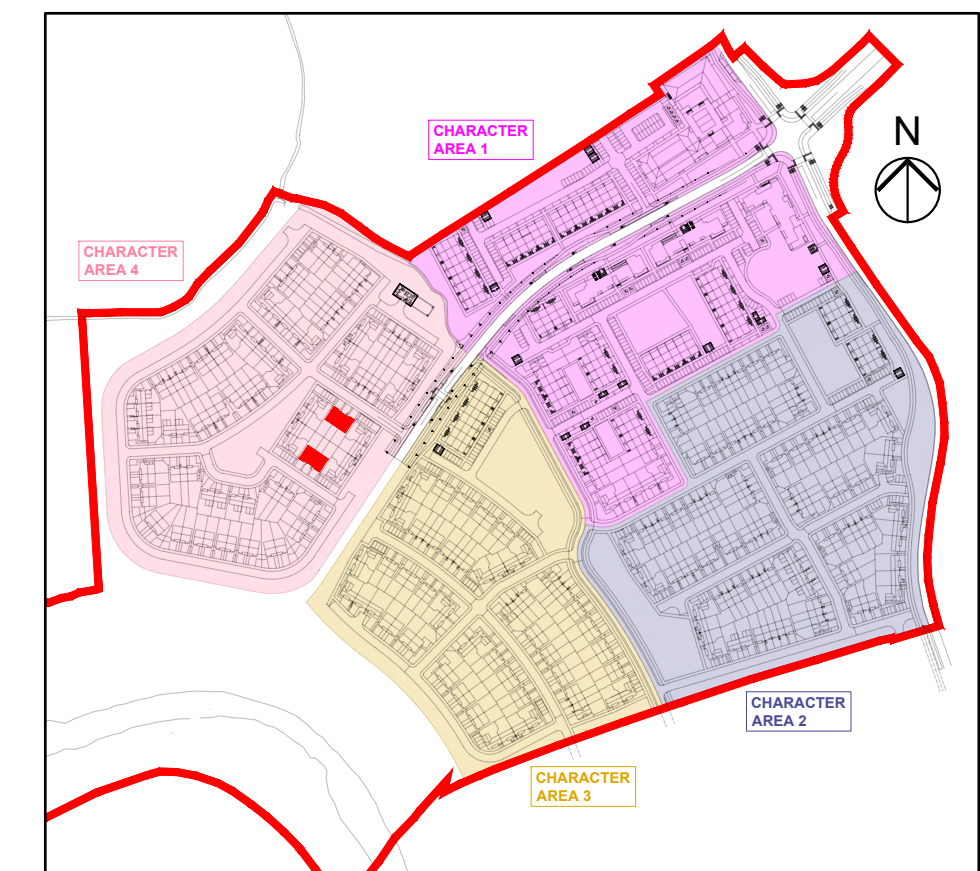
AREAS:	PROVIDED:	MIN. REQUIRED:
MAIN LIVING ROOM	16.5 M <sup>2</sup>	13 M <sup>2</sup>
BEDROOM 1	8.3 M <sup>2</sup>	7.1 M <sup>2</sup>
BEDROOM 2	11.4 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 3 (MAIN)	15.8 M <sup>2</sup>	13 M <sup>2</sup>
AGGREGATE LIVING	35.7 M <sup>2</sup>	34 M <sup>2</sup>
AGGREGATE BEDROOM	35.5 M <sup>2</sup>	32 M <sup>2</sup>
GROSS STORAGE	9.3 M <sup>2</sup>	5 M <sup>2</sup> (KCC 9 M <sup>2</sup> )
GROSS FLOOR SPACE	105.0 M <sup>2</sup>	92 M <sup>2</sup> (KCC 100 M <sup>2</sup> )

WIDTHS:	PROVIDED:	MIN. REQUIRED:
LIVING ROOM	3.99 M	3.8 M
BEDROOM 1 (SINGLE)	2.27 M	2.1 M
BEDROOM 2 (DOUBLE)	3.02 M	2.8 M
BEDROOM 3 (DOUBLE)	2.98 M	2.8 M

\*FIGURES TAKEN FROM **QUALITY HOUSING FOR SUSTAINABLE COMMUNITIES** PUBLISHED BY THE DcEHLG.**HOUSE TYPE 'D':****2 BED TERRACE—4 PERSON****FLOOR AREA / ROOM WIDTH REQUIREMENTS\*:**

AREAS:	PROVIDED:	MIN. REQUIRED:
MAIN LIVING ROOM	15.1 M <sup>2</sup>	13 M <sup>2</sup>
BEDROOM 1	11.5 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 2 (MAIN)	15.2 M <sup>2</sup>	13 M <sup>2</sup>
AGGREGATE LIVING	33.5 M <sup>2</sup>	30 M <sup>2</sup>
AGGREGATE BEDROOM	26.7 M <sup>2</sup>	25 M <sup>2</sup>
GROSS STORAGE	8.5 M <sup>2</sup>	4 M <sup>2</sup> (KCC 6 M <sup>2</sup> )
GROSS FLOOR SPACE	89.2 M <sup>2</sup>	80 M <sup>2</sup> (KCC 85 M <sup>2</sup> )

WIDTHS:	PROVIDED:	MIN. REQUIRED:
LIVING ROOM (OPEN PLAN)	4.9 M	3.8 M
BEDROOM 1 (DOUBLE)	2.8 M	2.8 M
BEDROOM 2 (DOUBLE)	2.8 M	2.8 M

\*FIGURES TAKEN FROM **QUALITY HOUSING FOR SUSTAINABLE COMMUNITIES** PUBLISHED BY THE DcEHLG.

KEY PLAN

**TERRACE BLOCK TYPE 11—CHARACTER AREA 4****NOTES:**

DO NOT SCALE. USE ONLY FIGURED DIMENSIONS WHICH SHOULD BE CHECKED ON SITE BEFORE WORK COMMENCES.

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**OFA**O'LYNN ARCHITECTS,  
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2021

PROJECT: PROPOSED GREAT CONNELL SHD AT NEWBRIDGE, CO. KILDARE.

TITLE: PROPOSED PLANS, ELEVATIONS &amp; SECTION FOR TERRACE BLOCK TYPE 11—CHARACTER AREA 4.

CLIENT: ASTON LTD.

STAGE: PLANNING

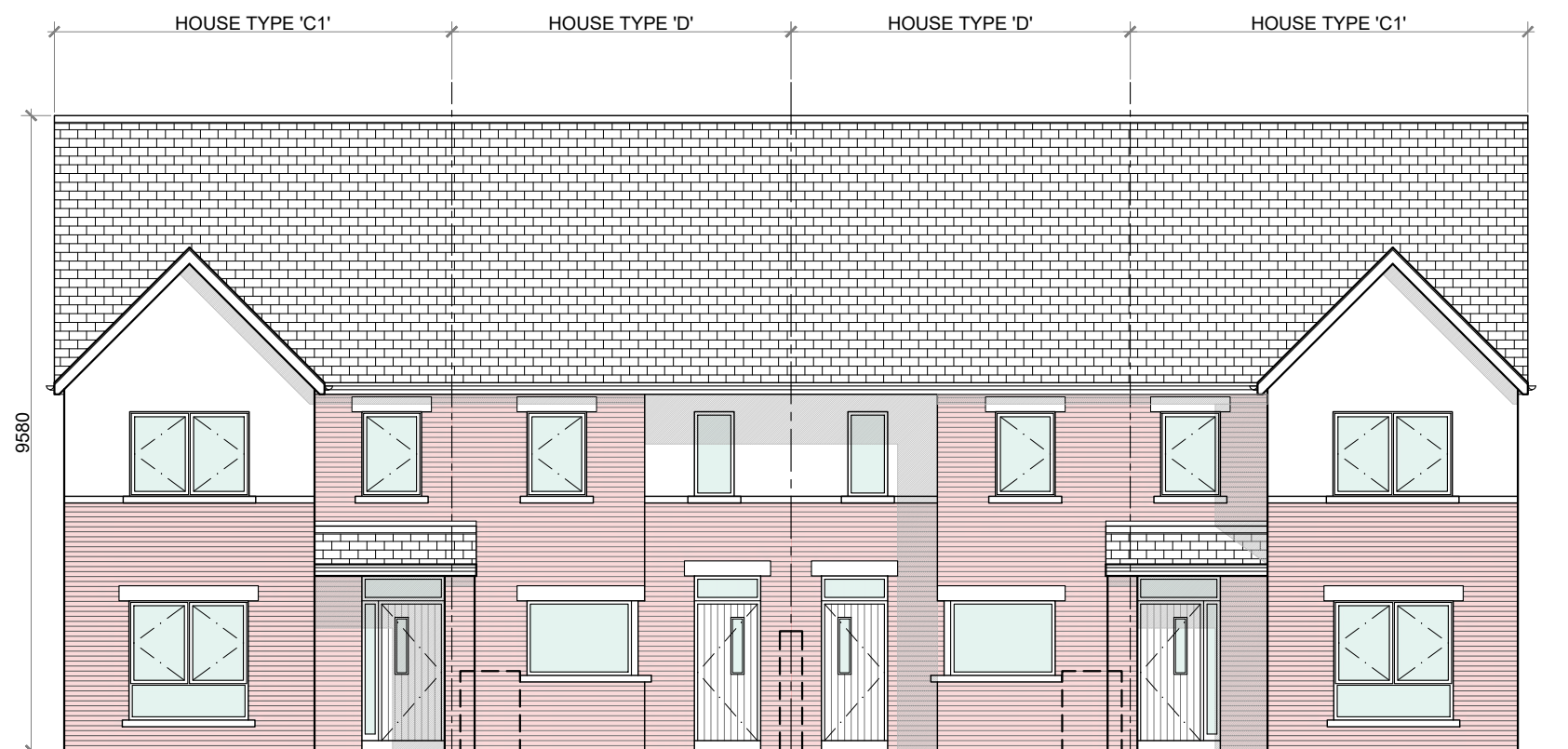
PROJECT NO.: 19070

DRG. NO.: PA-072

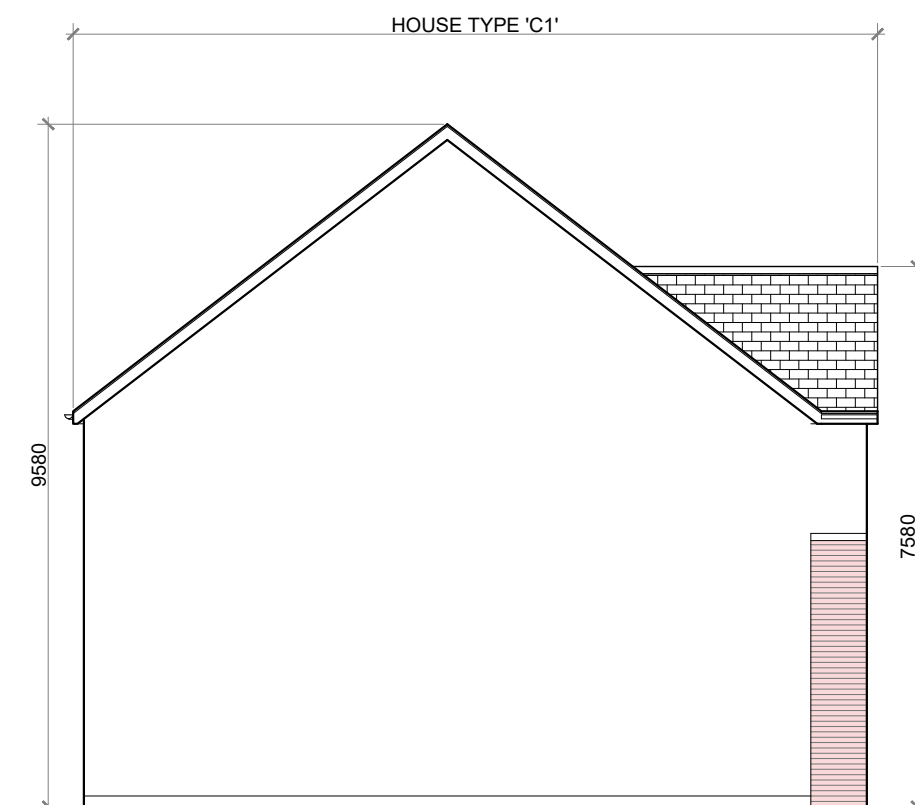
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DATE: MARCH 2022DRAWN: POF  
CHECKED: POF



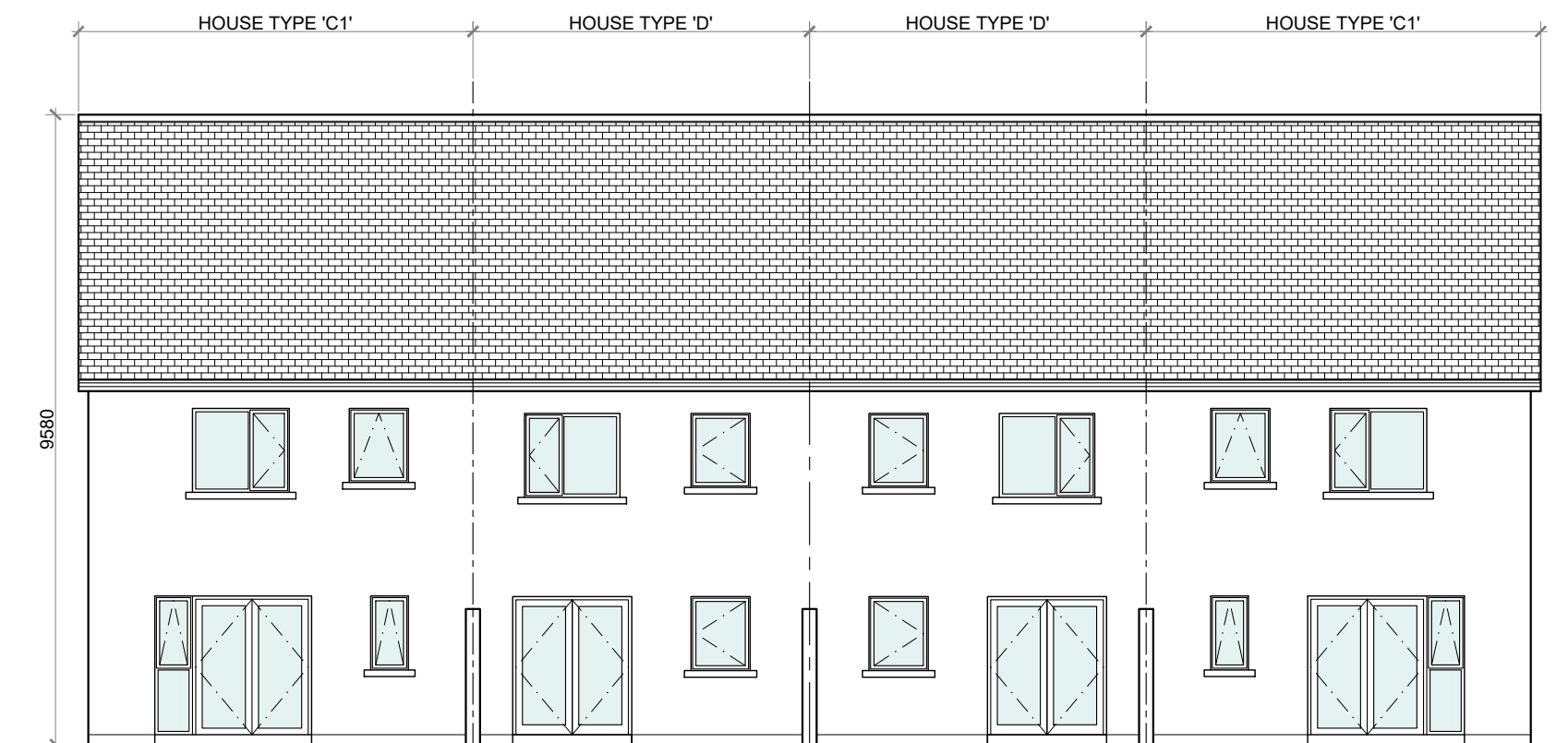
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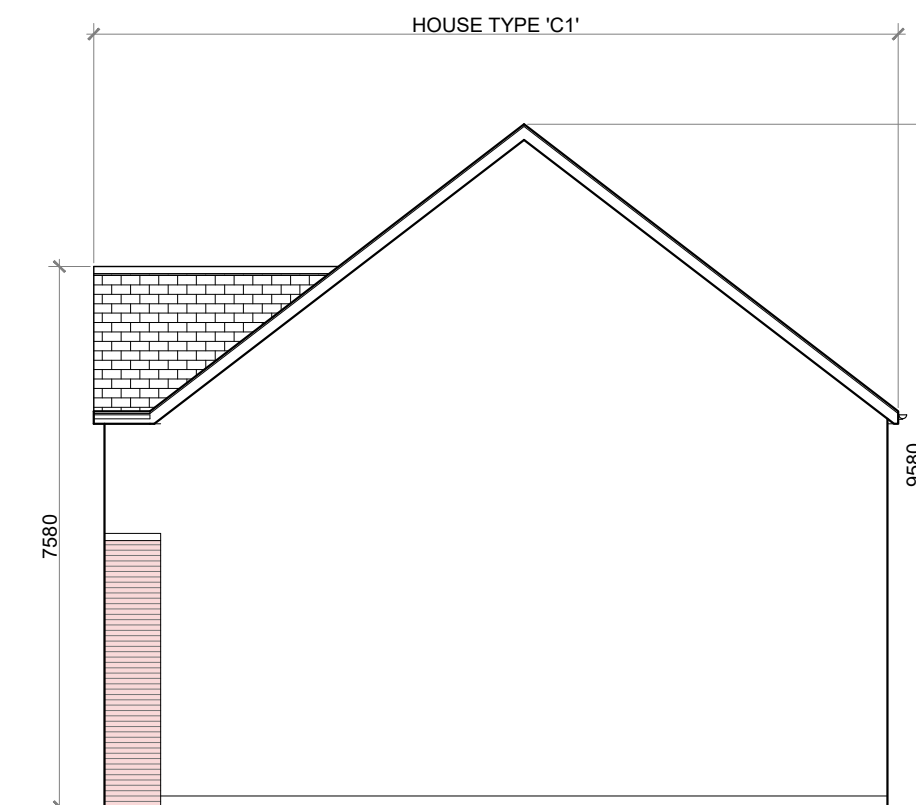
FRONT ELEVATION @ 1:100  
TERRACE BLOCK TYPE 12 ( CHARACTER AREA 2)



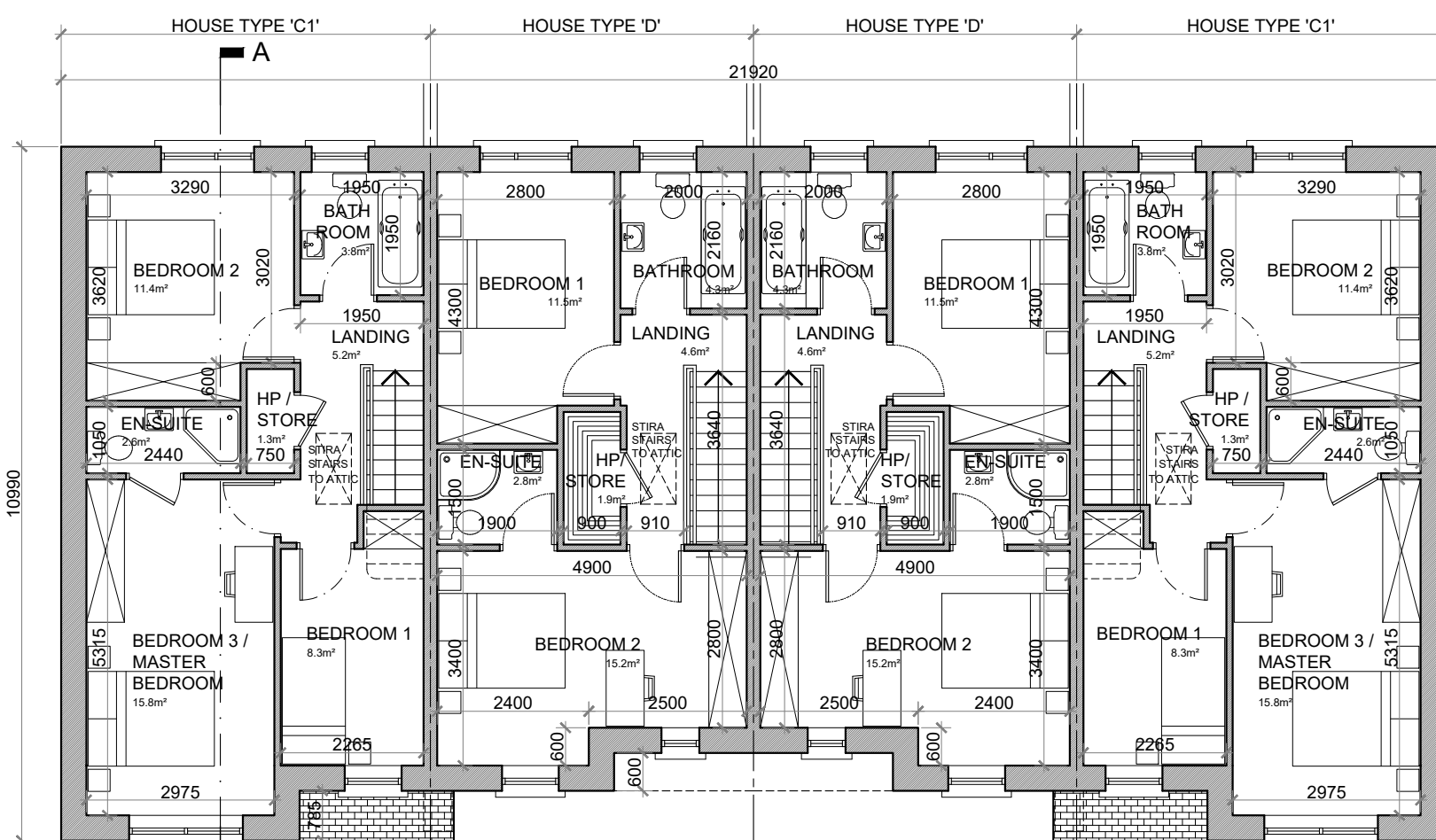
SIDE ELEVATION @ 1:100  
TERRACE BLOCK TYPE 12



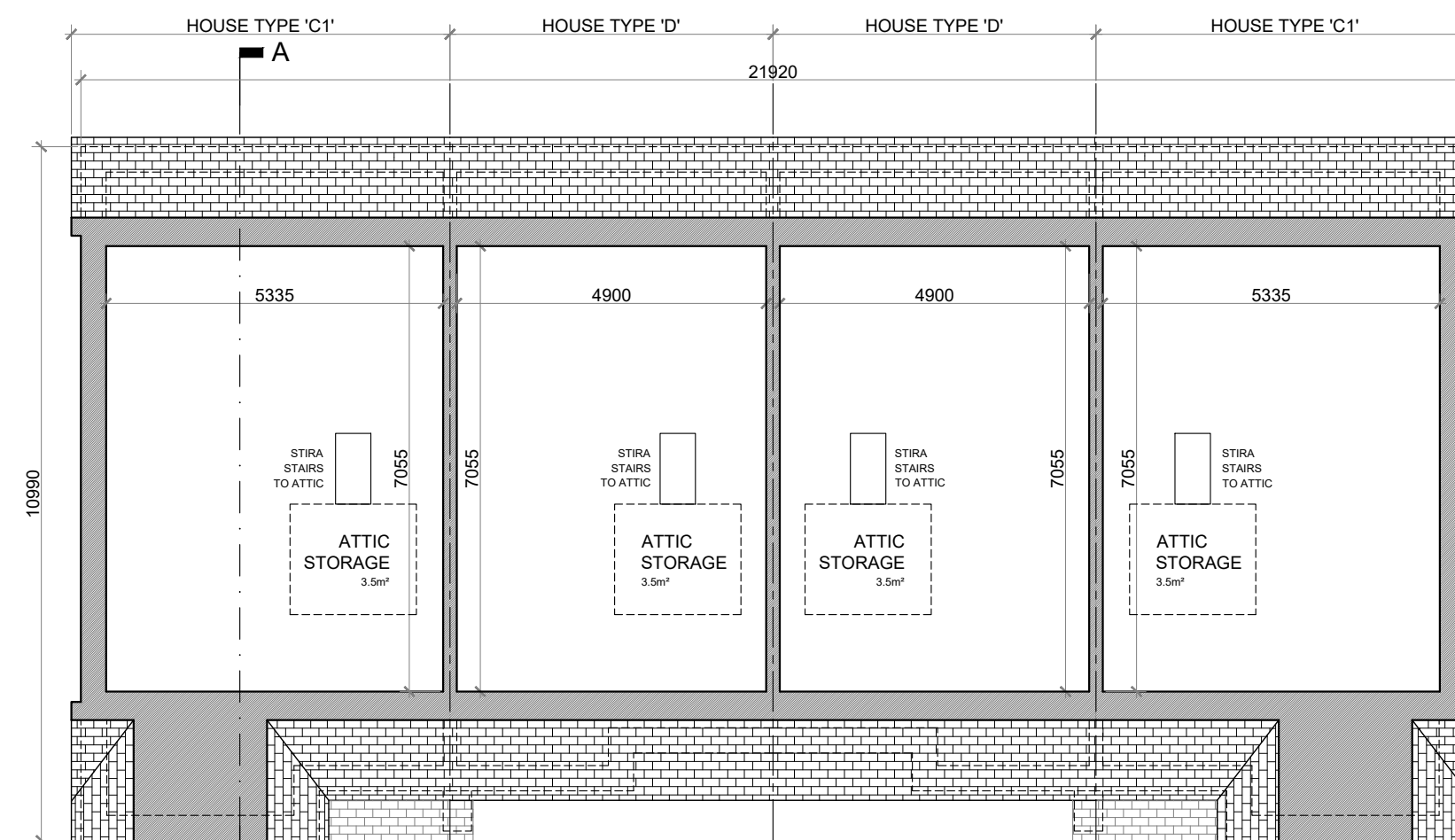
REAR ELEVATION @ 1:100  
TERRACE BLOCK TYPE 12



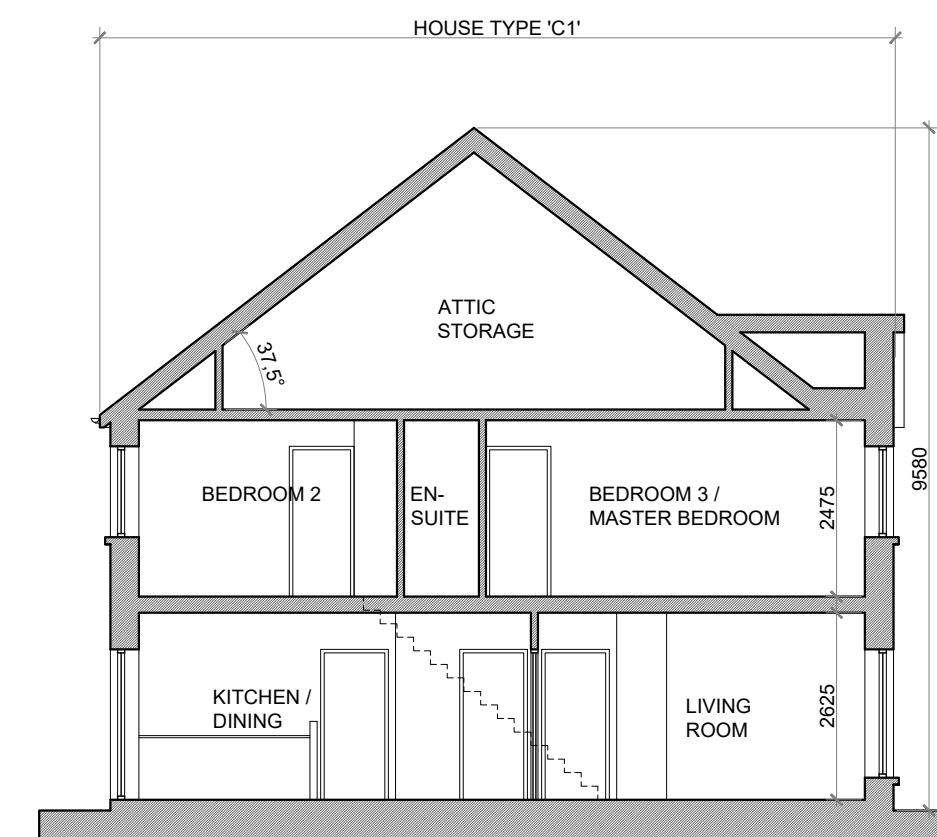
SIDE ELEVATION @ 1:100  
TERRACE BLOCK TYPE 12



FIRST FLOOR PLAN @ 1:100  
TERRACE BLOCK TYPE 12



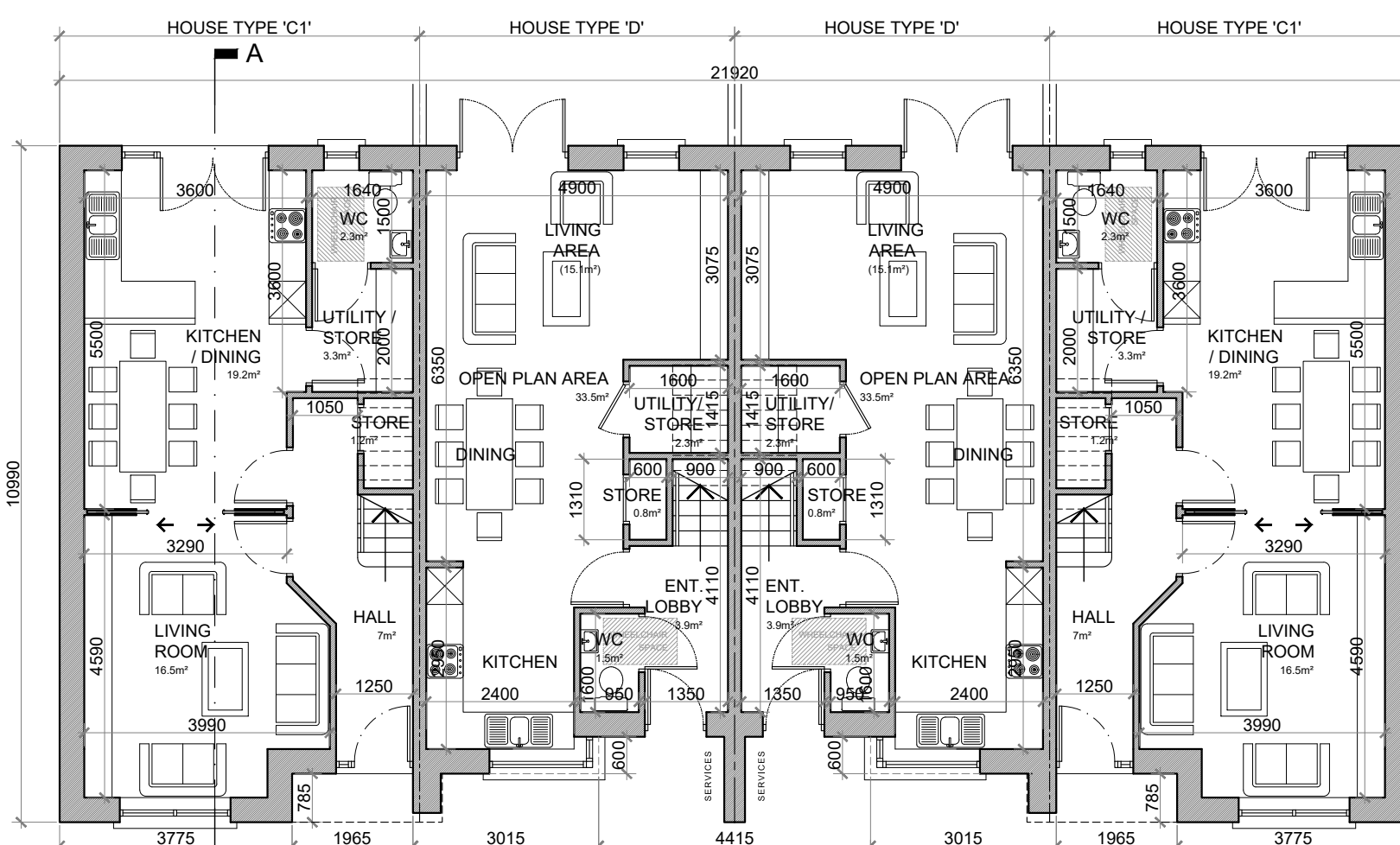
ATTIC PLAN @ 1:100  
TERRACE BLOCK TYPE 12



SECTION A-A @ 1:100  
TERRACE BLOCK TYPE 12

#### PROPOSED FINISHES:

- SLATE / TILED FINISH TO ROOF.
- UPVC / ALUMINIUM FINISH TO FASCIAS, GUTTERS AND DOWNPIPES.
- SELECTED BRICK FINISH TO AREAS AS INDICATED.
- PLASTER / RENDER FINISH TO WALLS AS INDICATED.
- UPVC / ALUMINIUM / TIMBER FINISH TO WINDOWS AND DOORS.
- PAINTED CONCRETE / STONE SILLS AND CAPPINGS.
- PLASTER / RENDER FINISH TO PLINTH.



GROUND FLOOR PLAN @ 1:100  
TERRACE BLOCK TYPE 12

HOUSE TYPE 'C1' HOUSE TYPE 'D'

3 BED TERRACE HOUSE TYPE 'C1':  
GROUND FLOOR AREA: 52.5 SQ. M. (565 SQ. FT.)  
FIRST FLOOR AREA: 52.5 SQ. M. (565 SQ. FT.)  
TOTAL FLOOR AREA: 105.0 SQ. M. (1,130 SQ. FT.)

2 BED MID TERRACE HOUSE TYPE 'D':  
GROUND FLOOR AREA: 44.6 SQ. M. (480 SQ. FT.)  
FIRST FLOOR AREA: 44.6 SQ. M. (480 SQ. FT.)  
TOTAL FLOOR AREA: 89.2 SQ. M. (960 SQ. FT.)

#### HOUSE TYPE 'C1':

##### 3 BED TERRACE—5 PERSON

FLOOR AREA / ROOM WIDTH REQUIREMENTS*:		
AREAS:		
MAIN LIVING ROOM	PROVIDED: 16.5 M <sup>2</sup>	MIN. REQUIRED: 13 M <sup>2</sup>
BEDROOM 1	8.3 M <sup>2</sup>	7.1 M <sup>2</sup>
BEDROOM 2	11.4 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 3 (MAIN)	15.2 M <sup>2</sup>	13 M <sup>2</sup>
AGGREGATE LIVING	35.7 M <sup>2</sup>	34 M <sup>2</sup>
AGGREGATE BEDROOM	35.5 M <sup>2</sup>	32 M <sup>2</sup>
GROSS STORAGE	9.3 M <sup>2</sup>	5 M <sup>2</sup> (KCC 9 M <sup>2</sup> )
GROSS FLOOR SPACE	105.0 M <sup>2</sup>	92 M <sup>2</sup> (KCC 100 M <sup>2</sup> )

WIDTHS:		
LIVING ROOM	PROVIDED: 3.89 M	MIN. REQUIRED: 3.6 M
BEDROOM 1 (SINGLE)	2.27 M	2.1 M
BEDROOM 2 (DOUBLE)	3.02 M	2.8 M
BEDROOM 3 (DOUBLE)	2.98 M	2.8 M

\*FIGURES TAKEN FROM *QUALITY HOUSING FOR SUSTAINABLE COMMUNITIES* PUBLISHED BY THE DóEHLG.

#### HOUSE TYPE 'D':

##### 2 BED TERRACE—4 PERSON

FLOOR AREA / ROOM WIDTH REQUIREMENTS*:		
AREAS:		
MAIN LIVING ROOM	PROVIDED: 15.1 M <sup>2</sup>	MIN. REQUIRED: 13 M <sup>2</sup>
BEDROOM 1	11.5 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 2 (MAIN)	15.2 M <sup>2</sup>	13 M <sup>2</sup>
AGGREGATE LIVING	33.5 M <sup>2</sup>	30 M <sup>2</sup>
AGGREGATE BEDROOM	26.7 M <sup>2</sup>	25 M <sup>2</sup>
GROSS STORAGE	8.5 M <sup>2</sup>	4 M <sup>2</sup> (KCC 9 M <sup>2</sup> )
GROSS FLOOR SPACE	89.2 M <sup>2</sup>	80 M <sup>2</sup> (KCC 95 M <sup>2</sup> )

WIDTHS:		
LIVING ROOM (OPEN PLAN)	PROVIDED: 4.9 M	MIN. REQUIRED: 3.6 M
BEDROOM 1 (DOUBLE)	2.8 M	2.8 M
BEDROOM 2 (DOUBLE)	2.8 M	2.8 M

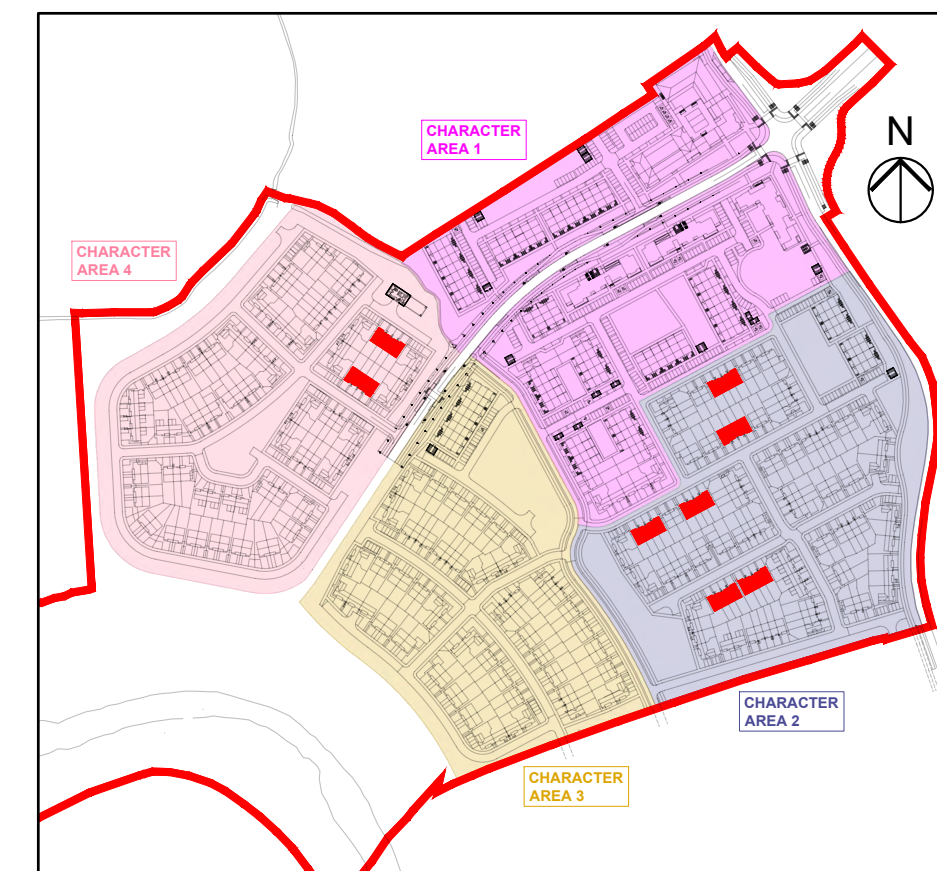
\*FIGURES TAKEN FROM *QUALITY HOUSING FOR SUSTAINABLE COMMUNITIES* PUBLISHED BY THE DóEHLG.



FRONT ELEVATION @ 1:100  
TERRACE BLOCK TYPE 12 (CHARACTER AREA 4)

#### NOTE ON BRICK FINISH IN CHARACTER AREAS 2 & 4:

AREAS OF BRICK ON ELEVATIONS IN CHARACTER AREA 2 ARE TO BE RED AND IN CHARACTER AREA 4 ARE TO BE BUFF.



KEY PLAN

## TERRACE BLOCK TYPE 12—CHARACTER AREAS 2 & 4

#### NOTES:

DO NOT SCALE. USE ONLY FIGURED DIMENSIONS WHICH SHOULD BE CHECKED ON SITE BEFORE WORK COMMENCES.

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2021

PROJECT: PROPOSED GREAT CONNELL SHD AT NEWBRIDGE, CO. KILDARE.

TITLE: PROPOSED PLANS, ELEVATIONS & SECTION FOR TERRACE BLOCK TYPE 12—CHARACTER AREAS 2 & 4.

CLIENT: ASTON LTD.

STAGE: PLANNING

PROJECT NO.: 19070

DRG. NO.: PA-073

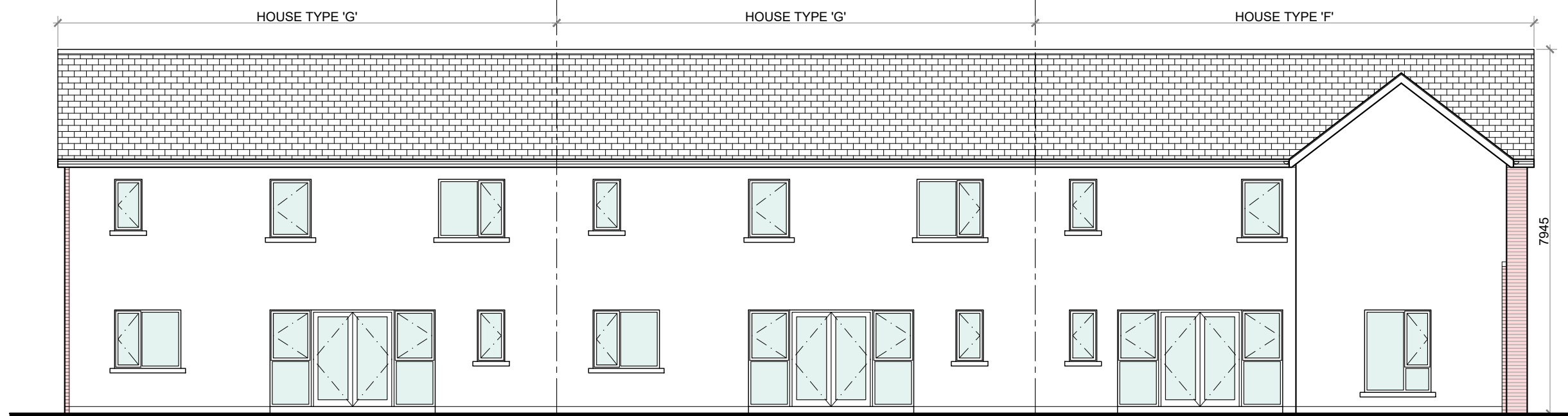
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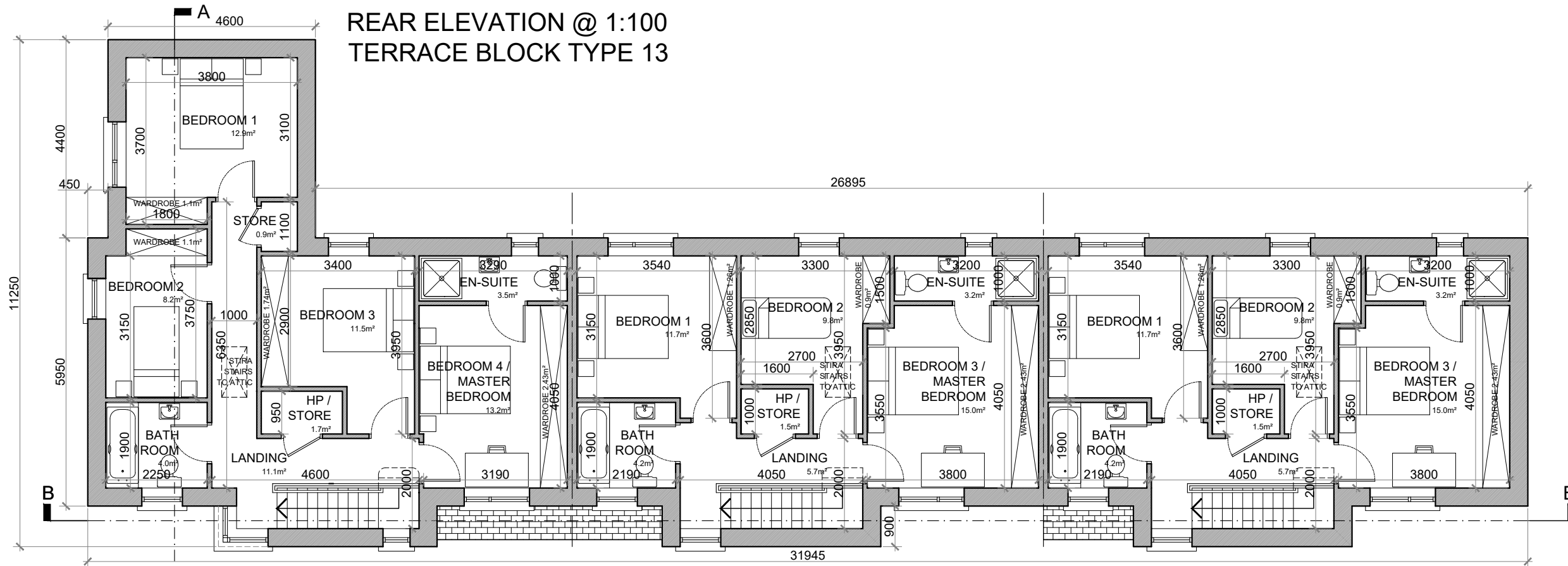




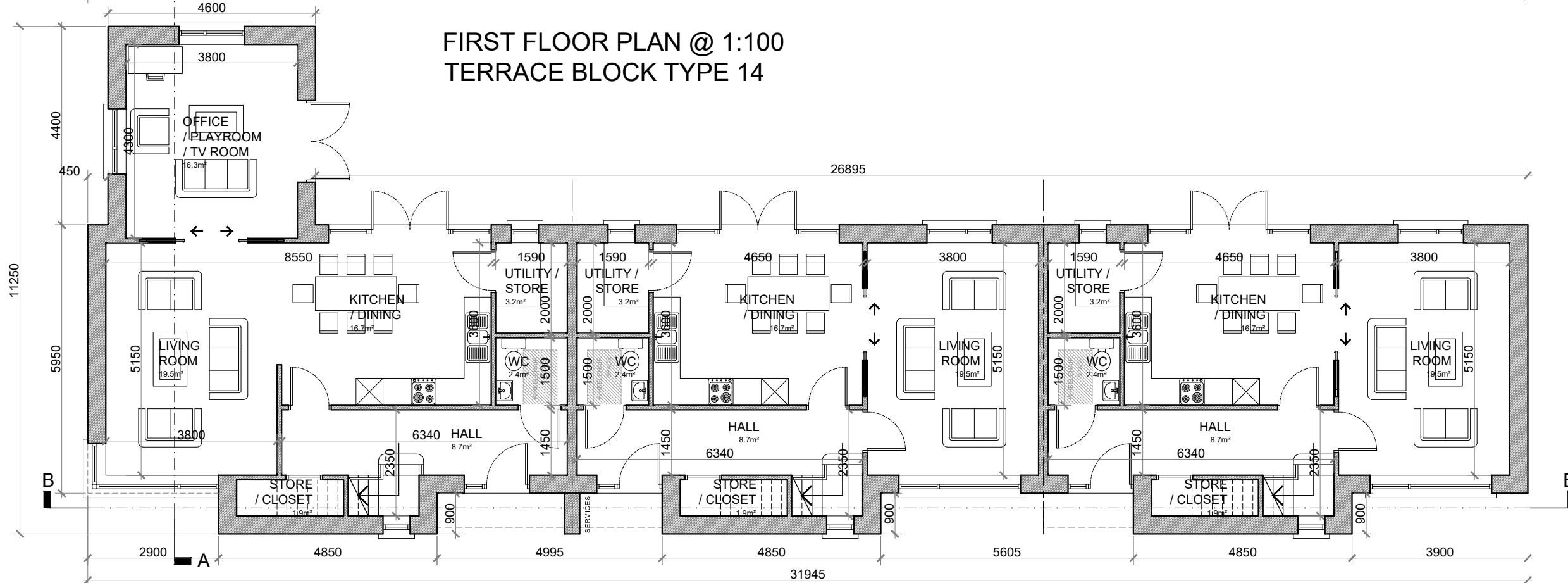
FRONT ELEVATION @ 1:100  
TERRACE BLOCK TYPE 14



REAR ELEVATION @ 1:100  
TERRACE BLOCK TYPE 13



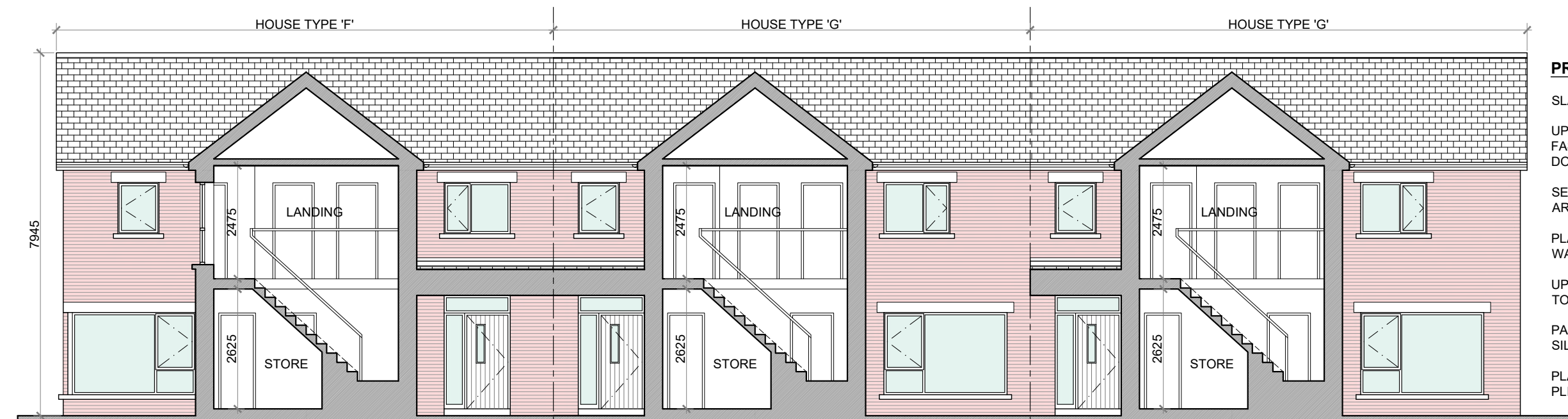
FIRST FLOOR PLAN @ 1:100  
TERRACE BLOCK TYPE 14



GROUND FLOOR PLAN @ 1:100  
TERRACE BLOCK TYPE 14

**TYPE 'F' FLOOR AREA:**  
GROUND FLOOR AREA: 73.1 SQ.M. (787 SQ.FT.)  
FIRST FLOOR AREA: 73 SQ.M. (787 SQ.FT.)  
TOTAL FLOOR AREA: 146.2 SQ.M. (1,574 SQ.FT.)

**TYPE 'G' FLOOR AREA:**  
GROUND FLOOR AREA: 56.4 SQ.M. (607 SQ.FT.)  
FIRST FLOOR AREA: 56.4 SQ.M. (607 SQ.FT.)  
TOTAL FLOOR AREA: 112.8 SQ.M. (1,214 SQ.FT.)



SECTION B-B @ 1:100  
TERRACE BLOCK TYPE 14

#### HOUSE TYPE 'F'

##### 4 BED TERRACE—7 PERSON

##### FLOOR AREA / ROOM WIDTH REQUIREMENTS\*:

AREAS:	PROVIDED:	MIN. REQUIRED:
MAIN LIVING ROOM	19.5 M <sup>2</sup>	15 M <sup>2</sup>
BEDROOM 1	12.9 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 2	8.2 M <sup>2</sup>	7.1 M <sup>2</sup>
BEDROOM 3	11.5 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 4 (MAIN)	13.2 M <sup>2</sup>	13 M <sup>2</sup>
AGGREGATE LIVING	52.5 M <sup>2</sup>	40 M <sup>2</sup>
AGGREGATE BEDROOM	45.8 M <sup>2</sup>	43 M <sup>2</sup>
GROSS STORAGE	11.2 M <sup>2</sup>	6 M <sup>2</sup> (KCC 10 M <sup>2</sup> )
GROSS FLOOR SPACE	146.2 M <sup>2</sup>	110 M <sup>2</sup> (KCC 110 M <sup>2</sup> )

WIDTHS:	PROVIDED:	MIN. REQUIRED:
LIVING ROOM	3.8 M	3.8 M
BEDROOM 1 (DOUBLE)	3.1 M	2.8 M
BEDROOM 2 (SINGLE)	2.25 M	2.1 M
BEDROOM 3 (DOUBLE)	3.15 M	2.8 M
BEDROOM 4 (DOUBLE)	2.9 M	2.8 M

\*FIGURES TAKEN FROM *QUALITY HOUSING FOR SUSTAINABLE COMMUNITIES* PUBLISHED BY THE DOEHLG.

#### HOUSE TYPE 'G'

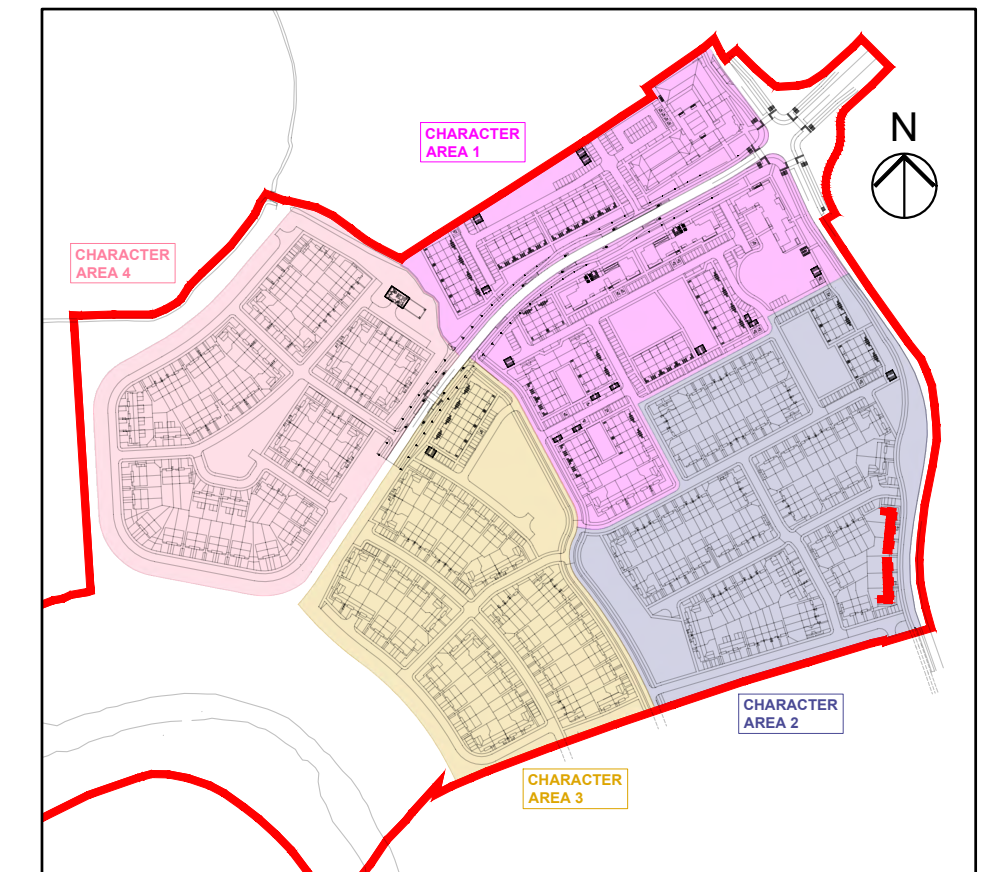
##### 3 BED TERRACE—5 PERSON

##### FLOOR AREA / ROOM WIDTH REQUIREMENTS\*:

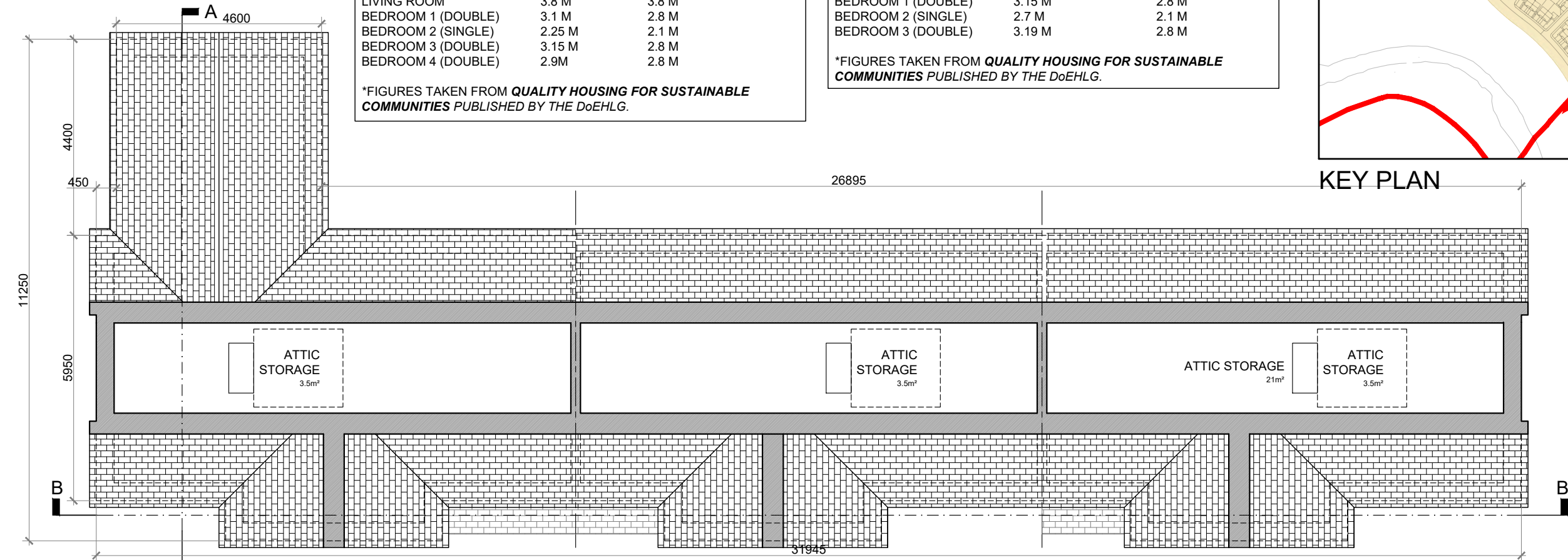
AREAS:	PROVIDED:	MIN. REQUIRED:
MAIN LIVING ROOM	19.5 M <sup>2</sup>	15 M <sup>2</sup>
BEDROOM 1	11.7 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 2	9.8 M <sup>2</sup>	7.1 M <sup>2</sup>
BEDROOM 3 (MAIN)	15.0 M <sup>2</sup>	13 M <sup>2</sup>
AGGREGATE LIVING	36.2 M <sup>2</sup>	34 M <sup>2</sup>
AGGREGATE BEDROOM	36.5 M <sup>2</sup>	32 M <sup>2</sup>
GROSS STORAGE	10.1 M <sup>2</sup>	5 M <sup>2</sup> (KCC 9 M <sup>2</sup> )
GROSS FLOOR SPACE	112.8 M <sup>2</sup>	92 M <sup>2</sup> (KCC 100 M <sup>2</sup> )

WIDTHS:	PROVIDED:	MIN. REQUIRED:
LIVING ROOM	3.8 M	3.8 M
BEDROOM 1 (DOUBLE)	3.15 M	2.8 M
BEDROOM 2 (SINGLE)	2.7 M	2.1 M
BEDROOM 3 (DOUBLE)	3.19 M	2.8 M

\*FIGURES TAKEN FROM *QUALITY HOUSING FOR SUSTAINABLE COMMUNITIES* PUBLISHED BY THE DOEHLG.



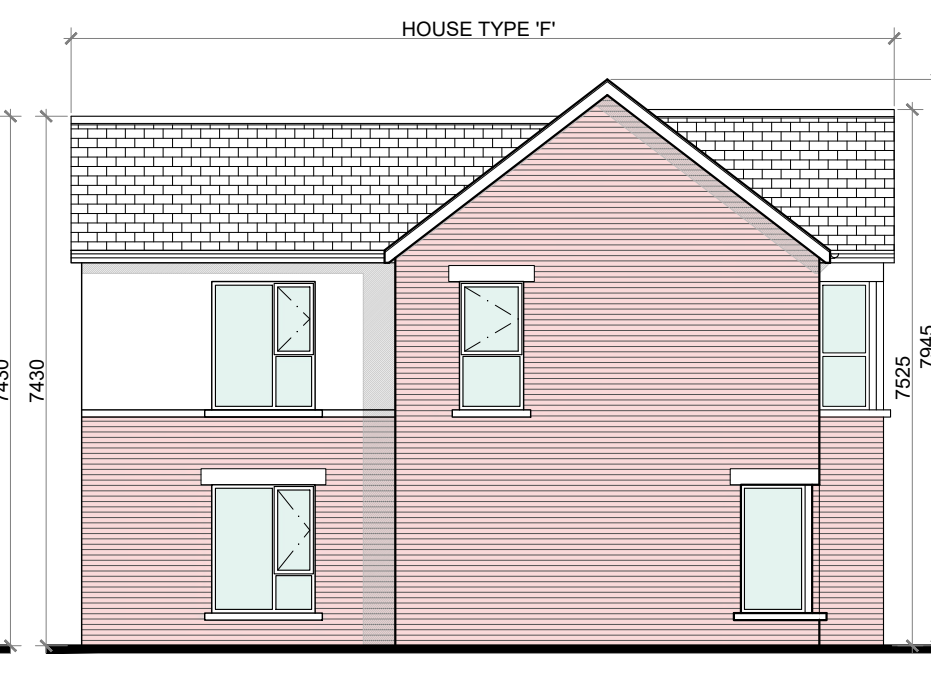
KEY PLAN



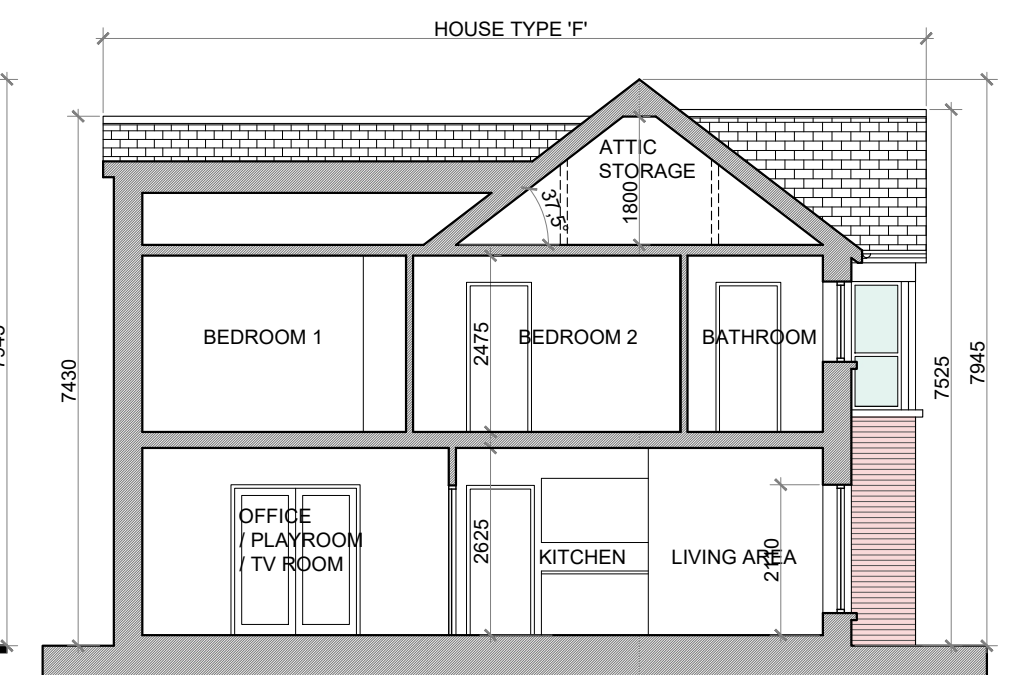
ATTIC STORAGE PLAN @ 1:100  
TERRACE BLOCK TYPE 14



SIDE ELEVATION @ 1:100  
TERRACE BLOCK TYPE 14



SIDE (DUAL FRONTAGE) ELEVATION @ 1:100  
TERRACE BLOCK TYPE 14



SECTION A-A @ 1:100  
TERRACE BLOCK TYPE 14

### TERRACE BLOCK TYPE 14—CHARACTER AREA 2

#### NOTES:

DO NOT SCALE. USE ONLY FIGURED DIMENSIONS WHICH SHOULD BE CHECKED ON SITE BEFORE WORK COMMENCES.

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**RIAI**  
2021

PROJECT: PROPOSED GREAT CONNELL SHD AT NEWBRIDGE, CO. KILDARE.

TITLE: PROPOSED PLANS, ELEVATIONS & SECTION FOR TERRACE BLOCK TYPE 14—CHARACTER AREA 2.

CLIENT: ASTON LTD.

STAGE: PLANNING

PROJECT NO.: 19070

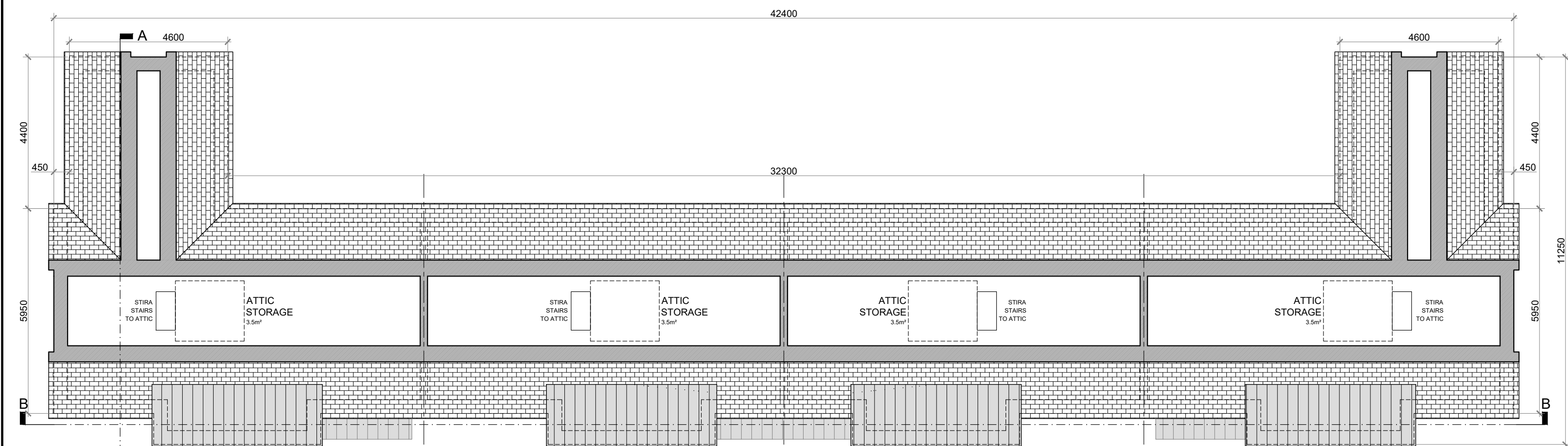
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DATE: MARCH 2022

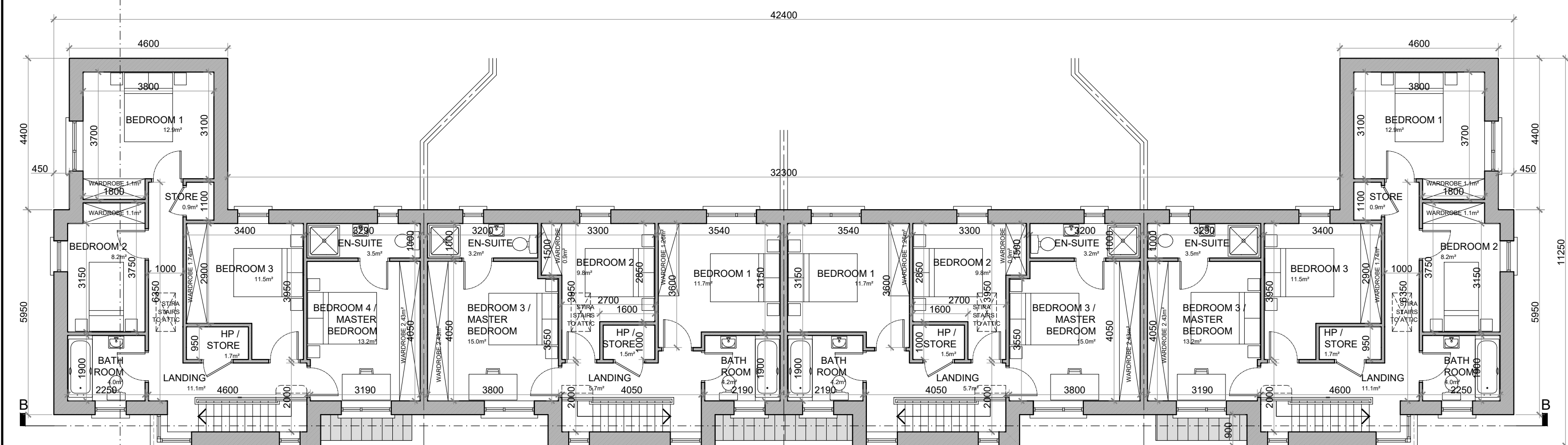
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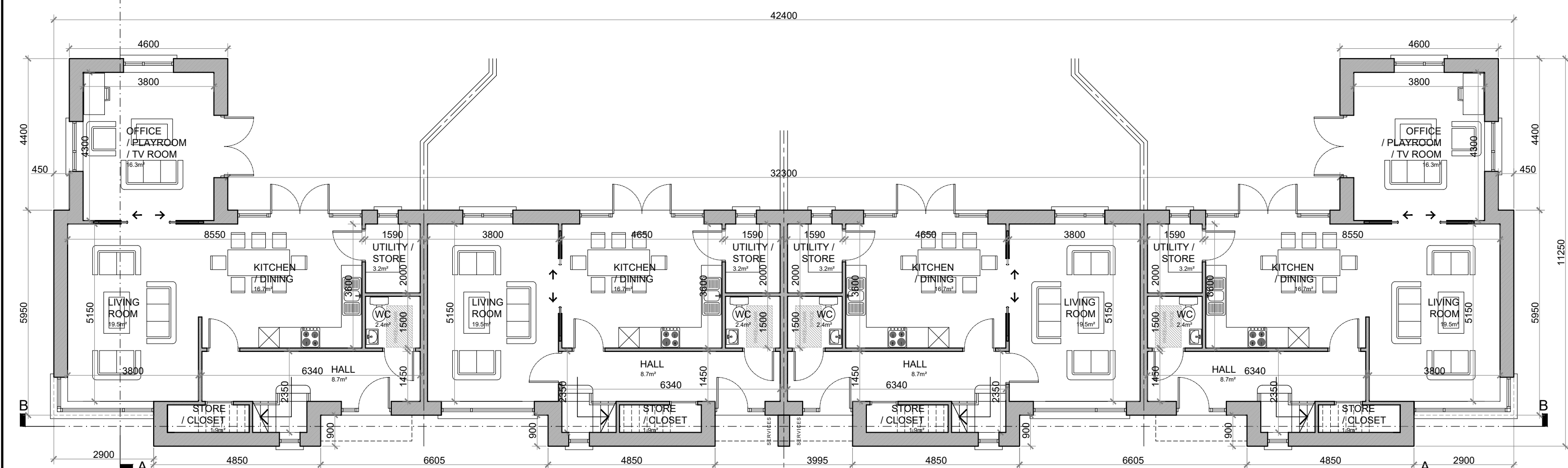
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ATTIC STORAGE PLAN @ 1:100  
TERRACE BLOCK TYPE 15



FIRST FLOOR PLAN @ 1:100  
TERRACE BLOCK TYPE 15



GROUND FLOOR PLAN @ 1:100  
TERRACE BLOCK TYPE 15

**TYPE 'F' FLOOR AREA:**  
GROUND FLOOR AREA: 73.1 SQ.M. (787 SQ.FT.)  
FIRST FLOOR AREA: 73 SQ.M. (787 SQ.FT.)  
TOTAL FLOOR AREA: 146.2 SQ.M. (1,574 SQ.FT.)

**TYPE 'G' FLOOR AREA:**  
GROUND FLOOR AREA: 56.4 SQ.M. (607 SQ.FT.)  
FIRST FLOOR AREA: 56.4 SQ.M. (607 SQ.FT.)  
TOTAL FLOOR AREA: 112.8 SQ.M. (1,214 SQ.FT.)

**HOUSE TYPE 'F'**

**4 BED TERRACE—7 PERSON**

**FLOOR AREA / ROOM WIDTH REQUIREMENTS\*:**

AREAS:	PROVIDED:	MIN. REQUIRED:
MAIN LIVING ROOM	19.5 M <sup>2</sup>	15 M <sup>2</sup>
BEDROOM 1	12.9 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 2	8.2 M <sup>2</sup>	7.1 M <sup>2</sup>
BEDROOM 3	11.5 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 4 (MAIN)	13.2 M <sup>2</sup>	13 M <sup>2</sup>
AGGREGATE LIVING	52.5 M <sup>2</sup>	40 M <sup>2</sup>
AGGREGATE BEDROOM	45.8 M <sup>2</sup>	43 M <sup>2</sup>
GROSS STORAGE	11.2 M <sup>2</sup>	6 M <sup>2</sup> (KCC 10 M <sup>2</sup> )
GROSS FLOOR SPACE	146.2 M <sup>2</sup>	110 M <sup>2</sup> (KCC 110 M <sup>2</sup> )

WIDTHS:	PROVIDED:	MIN. REQUIRED:
LIVING ROOM	3.8 M	3.8 M
BEDROOM 1 (DOUBLE)	3.1 M	2.8 M
BEDROOM 2 (SINGLE)	2.25 M	2.1 M
BEDROOM 3 (DOUBLE)	3.15 M	2.8 M
BEDROOM 4 (DOUBLE)	3.19 M	2.8 M

\*FIGURES TAKEN FROM **QUALITY HOUSING FOR SUSTAINABLE COMMUNITIES** PUBLISHED BY THE DOEHLG.

**HOUSE TYPE 'G'**

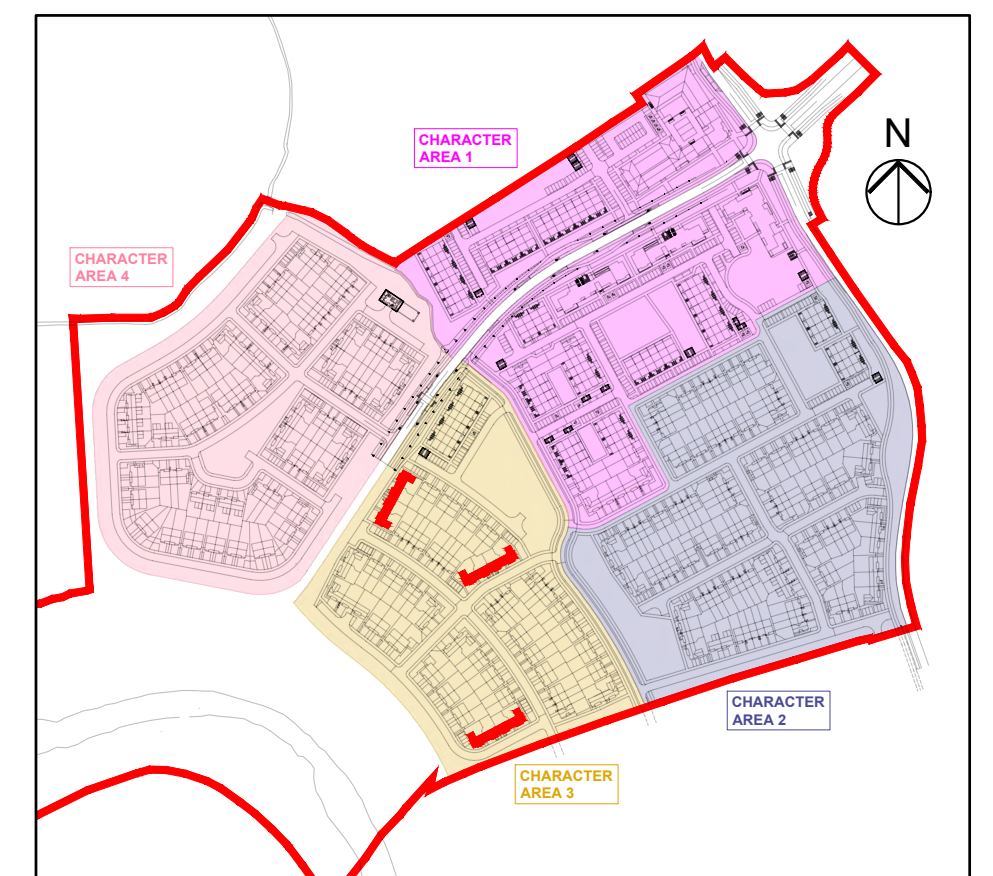
**3 BED TERRACE—5 PERSON**

**FLOOR AREA / ROOM WIDTH REQUIREMENTS\*:**

AREAS:	PROVIDED:	MIN. REQUIRED:
MAIN LIVING ROOM	19.5 M <sup>2</sup>	15 M <sup>2</sup>
BEDROOM 1	12.9 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 2	8.2 M <sup>2</sup>	7.1 M <sup>2</sup>
BEDROOM 3 (MAIN)	15.0 M <sup>2</sup>	13 M <sup>2</sup>
AGGREGATE LIVING	36.2 M <sup>2</sup>	34 M <sup>2</sup>
AGGREGATE BEDROOM	36.5 M <sup>2</sup>	32 M <sup>2</sup>
GROSS STORAGE	10.1 M <sup>2</sup>	5 M <sup>2</sup> (KCC 9 M <sup>2</sup> )
GROSS FLOOR SPACE	112.8 M <sup>2</sup>	92 M <sup>2</sup> (KCC 100 M <sup>2</sup> )

WIDTHS:	PROVIDED:	MIN. REQUIRED:
LIVING ROOM	3.8 M	3.8 M
BEDROOM 1 (DOUBLE)	3.15 M	2.8 M
BEDROOM 2 (SINGLE)	2.7 M	2.1 M
BEDROOM 3 (DOUBLE)	3.19 M	2.8 M

\*FIGURES TAKEN FROM **QUALITY HOUSING FOR SUSTAINABLE COMMUNITIES** PUBLISHED BY THE DOEHLG.



KEY PLAN

**TERRACE BLOCK TYPE 15—CHARACTER AREA 3**

**NOTES:**

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**RIA**  
Practice  
Member  
2021

PROJECT: PROPOSED GREAT CONNELL SHD AT NEWBRIDGE, CO. KILDARE.

TITLE: PROPOSED PLANS FOR TERRACE BLOCK TYPE 15—CHARACTER AREA 3.

CLIENT: ASTON LTD.

STAGE: PLANNING

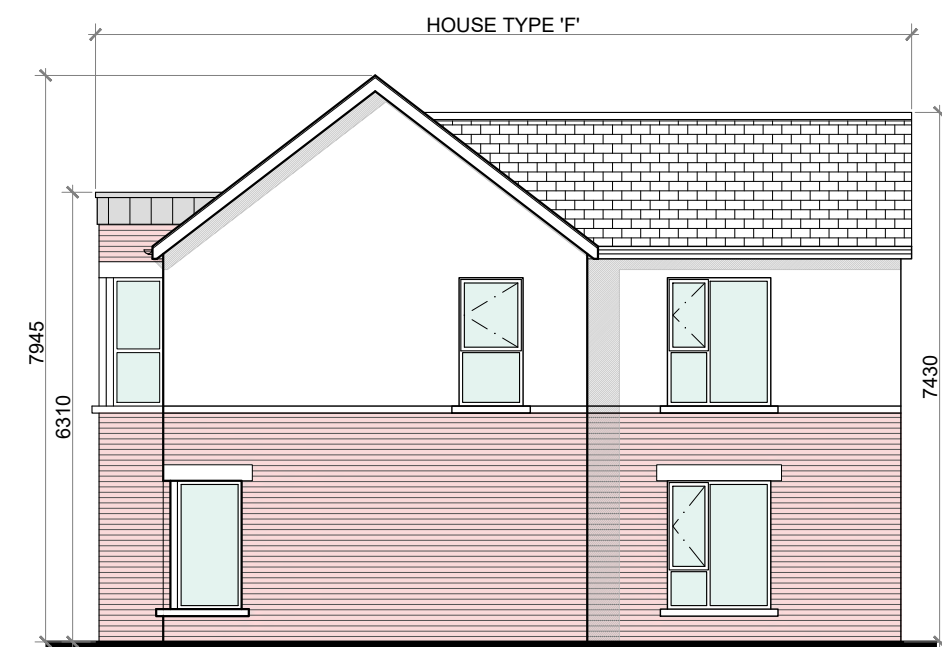
PROJECT NO.: 19070

DRG. NO.: PA-077 (SHEET 1 OF 2)

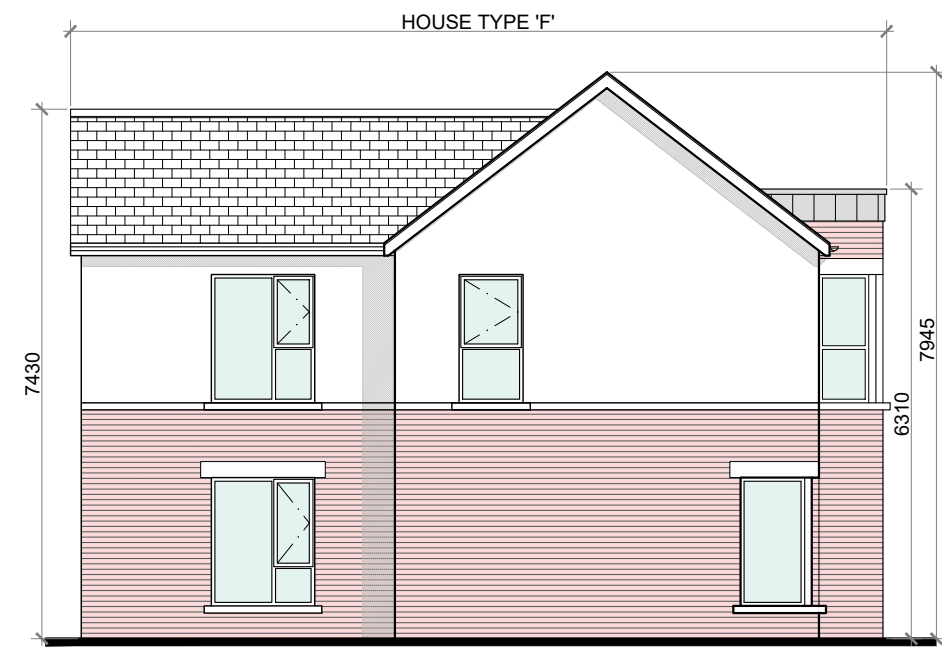
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DATE: MARCH 2022

DRAWN: POF  
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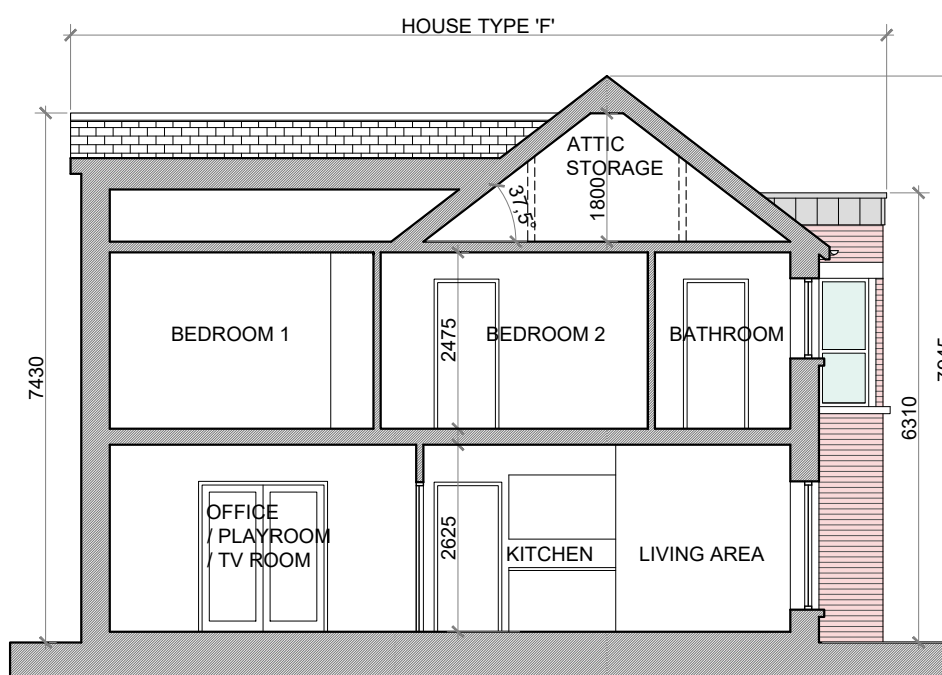




SIDE (DUAL FRONTAGE) ELEVATION @ 1:100  
TERRACE BLOCK TYPE 15



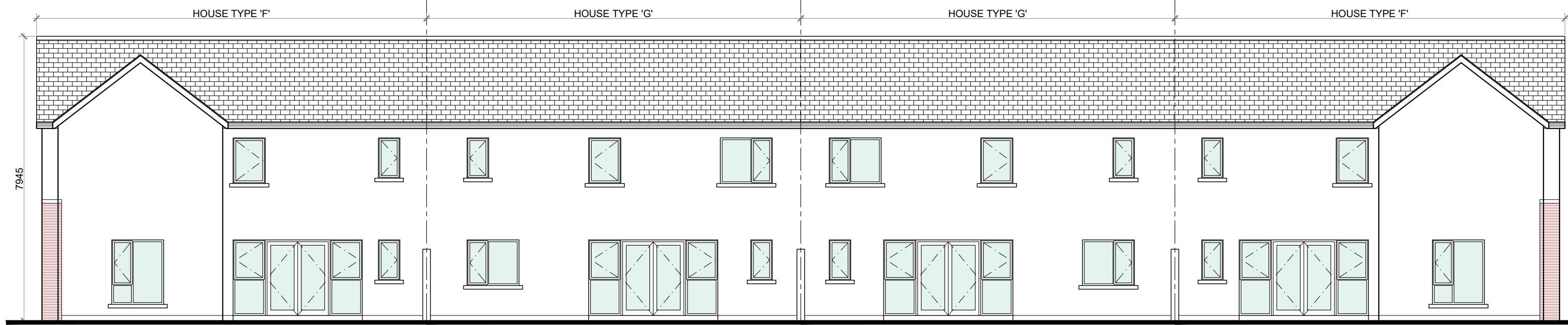
SIDE (DUAL FRONTAGE) ELEVATION @ 1:100  
TERRACE BLOCK TYPE 15



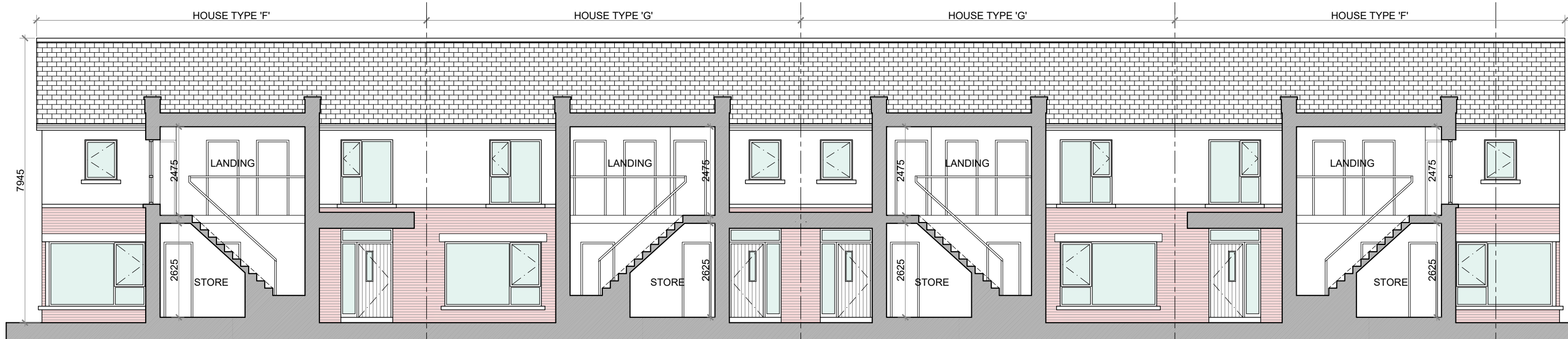
SECTION A-A @ 1:100  
TERRACE BLOCK TYPE 15



FRONT ELEVATION @ 1:100  
TERRACE BLOCK TYPE 15



REAR ELEVATION @ 1:100  
TERRACE BLOCK TYPE 15



SECTION B-B @ 1:100  
TERRACE BLOCK TYPE 15

PROPOSED FINISHES:

SLATE / TILED FINISH TO ROOF  
WITH STANDING SEAM ZINC CLAD  
FINISH (OR SIMILAR APPROVED)  
TO FLAT ROOF AREAS &  
ENTRANCE CANOPIES AS  
INDICATED.

UPVC / ALUMINIUM FINISH TO  
FASCIAS, GUTTERS AND  
DOWNPIPES.

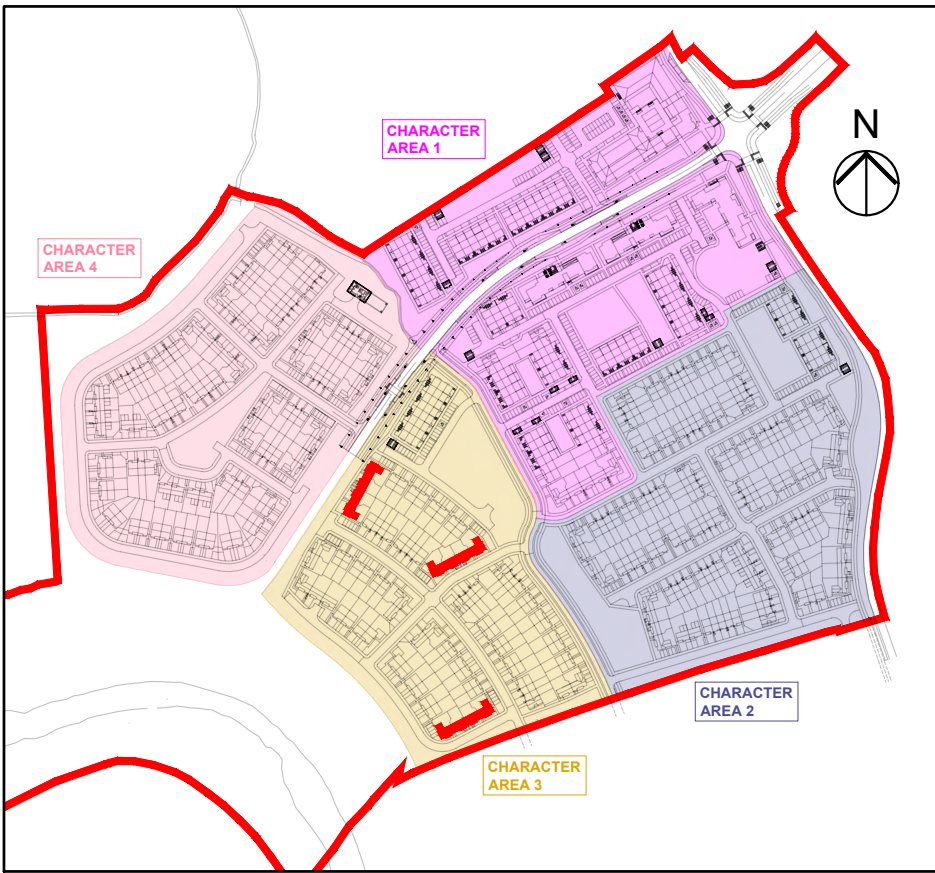
SELECTED BRICK FINISH TO  
AREAS AS INDICATED.

PLASTER / RENDER FINISH TO  
WALLS AS INDICATED.

UPVC / ALUMINIUM / TIMBER FINISH  
TO WINDOWS AND DOORS.

PAINTED CONCRETE / STONE  
SILLS AND CAPPINGS.

PLASTER / RENDER FINISH TO  
PLINTH.



KEY PLAN

TERRACE BLOCK TYPE 15—CHARACTER AREA 3

NOTES:

DO NOT SCALE, USE ONLY FIGURED DIMENSIONS WHICH SHOULD BE  
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LEGEND:

REFER TO THE SITE LAYOUT DRAWING  
FOR THE ORIENTATION AND FLOOR  
LEVELS FOR EACH DWELLING .

OFA

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RIAI  
2021

PROJECT: PROPOSED GREAT CONNELL SHD AT NEWBRIDGE, CO. KILDARE.

TITLE: PROPOSED ELEVATIONS & SECTIONS FOR TERRACE BLOCK TYPE  
15—CHARACTER AREA 3.

CLIENT: ASTON LTD.

STAGE: PLANNING

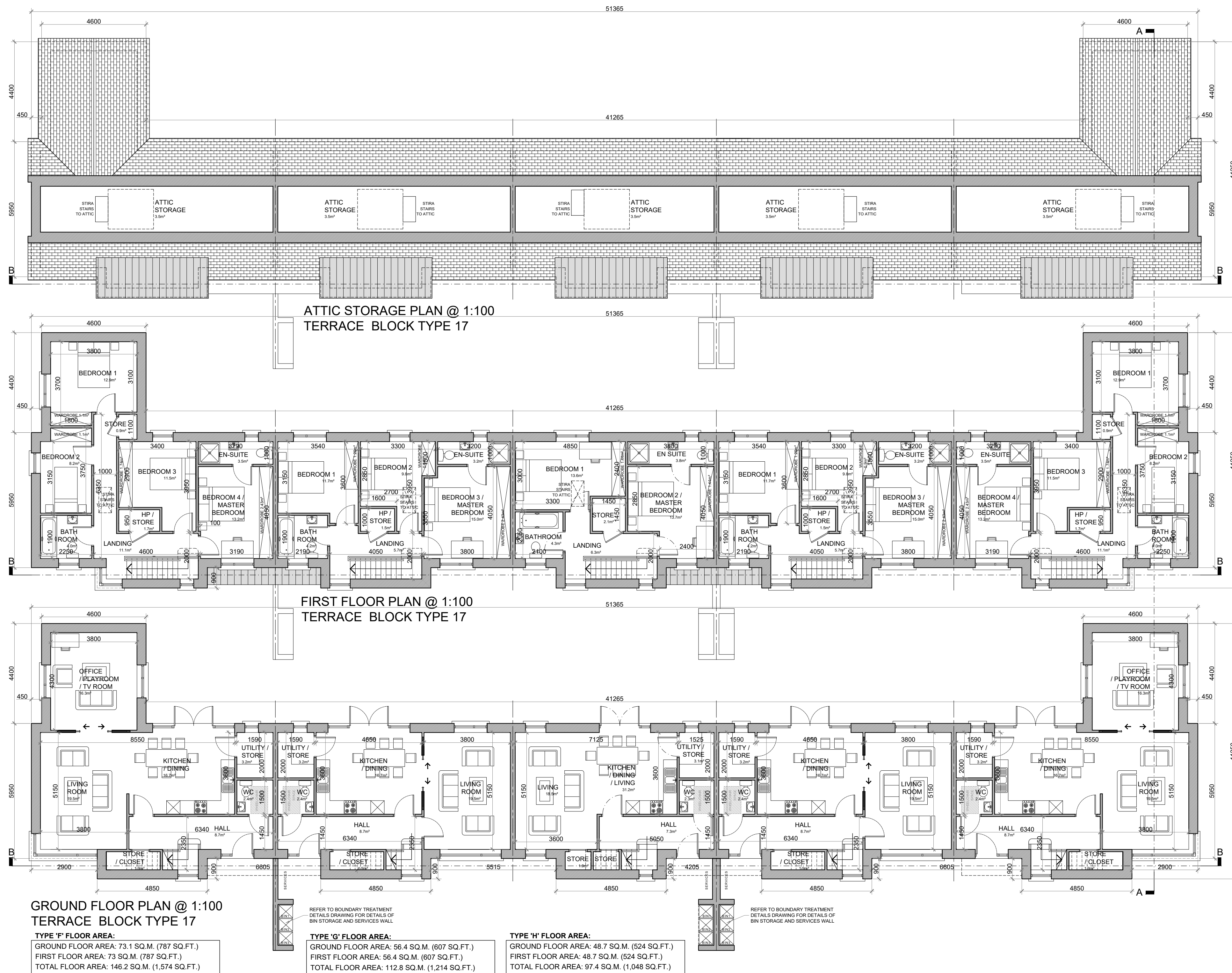
PROJECT NO.: 19070

DRG. NO.: PA-078 (SHEET 2 OF 2)

SCALE: 1:100  
DATE: MARCH 2022

DRAWN: POF  
CHECKED: POF





## HOUSE TYPE 'F'

## 4 BED TERRACE—7 PERSON

## FLOOR AREA / ROOM WIDTH REQUIREMENTS\*:

AREAS:	PROVIDED:	MIN. REQUIRED:
MAIN LIVING ROOM	19.3 M <sup>2</sup>	15 M <sup>2</sup>
BEDROOM 1	12.8 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 2	8.2 M <sup>2</sup>	7.1 M <sup>2</sup>
BEDROOM 3	11.3 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 4 (MAIN)	13.3 M <sup>2</sup>	13 M <sup>2</sup>
AGGREGATE LIVING	52.5 M <sup>2</sup>	40 M <sup>2</sup>
AGGREGATE BEDROOM	45.8 M <sup>2</sup>	43 M <sup>2</sup>
GROSS STORAGE	11.2 M <sup>2</sup>	6 M <sup>2</sup> (WCC 10 M <sup>2</sup> )
GROSS FLOOR SPACE	146.2 M <sup>2</sup>	110 M <sup>2</sup> (WCC 110 M <sup>2</sup> )

WIDTHS:	PROVIDED:	MIN. REQUIRED:
LIVING ROOM	3.8 M	3.8 M
BEDROOM 1 (DOUBLE)	3.1 M	2.8 M
BEDROOM 2 (SINGLE)	2.25 M	2.1 M
BEDROOM 3 (DOUBLE)	2.9 M	2.8 M
BEDROOM 4 (DOUBLE)	3.19 M	2.8 M

\*FIGURES TAKEN FROM QUALITY HOUSING FOR SUSTAINABLE COMMUNITIES PUBLISHED BY THE DOEHLG.

## HOUSE TYPE 'G'

## 3 BED TERRACE—5 PERSON

## FLOOR AREA / ROOM WIDTH REQUIREMENTS\*:

AREAS:	PROVIDED:	MIN. REQUIRED:
MAIN LIVING ROOM	15.5 M <sup>2</sup>	13 M <sup>2</sup>
BEDROOM 1	11.7 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 2	9.8 M <sup>2</sup>	7.1 M <sup>2</sup>
BEDROOM 3 (MAIN)	15.0 M <sup>2</sup>	15.0 M <sup>2</sup>
AGGREGATE LIVING	39.2 M <sup>2</sup>	35.2 M <sup>2</sup>
AGGREGATE BEDROOM	36.5 M <sup>2</sup>	32 M <sup>2</sup>
GROSS STORAGE	10.1 M <sup>2</sup>	5 M <sup>2</sup> (WCC 10 M <sup>2</sup> )
GROSS FLOOR SPACE	112.8 M <sup>2</sup>	92 M <sup>2</sup> (WCC 100 M <sup>2</sup> )

WIDTHS:	PROVIDED:	MIN. REQUIRED:
LIVING ROOM	3.8 M	3.8 M
BEDROOM 1 (DOUBLE)	3.15 M	2.8 M
BEDROOM 2 (SINGLE)	2.7 M	2.1 M
BEDROOM 3 (DOUBLE)	3.19 M	2.8 M

\*FIGURES TAKEN FROM QUALITY HOUSING FOR SUSTAINABLE COMMUNITIES PUBLISHED BY THE DOEHLG.

## HOUSE TYPE 'H'

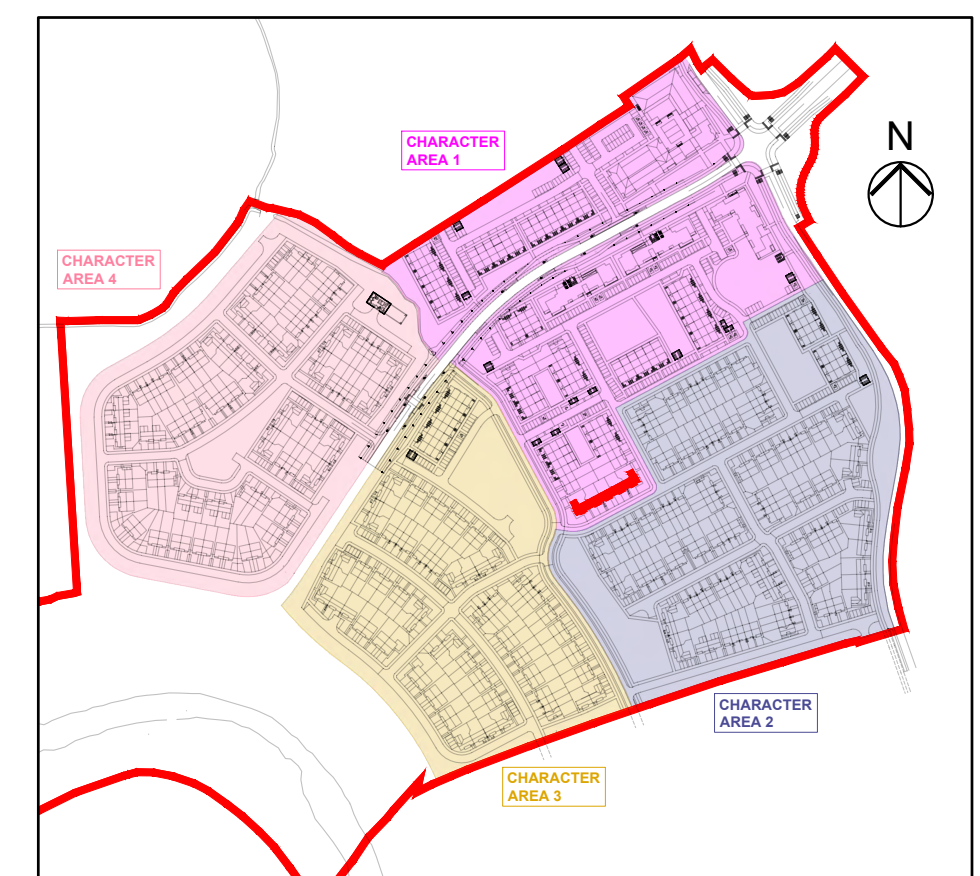
## 2 BED TERRACE—4 PERSON

## FLOOR AREA / ROOM WIDTH REQUIREMENTS\*:

AREAS:	PROVIDED:	MIN. REQUIRED:
MAIN LIVING ROOM	16.5 M <sup>2</sup>	13 M <sup>2</sup>
BEDROOM 1	13.6 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 2 (MAIN)	13.7 M <sup>2</sup>	13 M <sup>2</sup>
BEDROOM 3 (MAIN)	15.0 M <sup>2</sup>	15.0 M <sup>2</sup>
AGGREGATE LIVING	31.2 M <sup>2</sup>	30 M <sup>2</sup>
AGGREGATE BEDROOM	27.3 M <sup>2</sup>	25 M <sup>2</sup>
GROSS STORAGE	10.6 M <sup>2</sup>	4 M <sup>2</sup> (WCC 5 M <sup>2</sup> )
GROSS FLOOR SPACE	97.4 M <sup>2</sup>	80 M <sup>2</sup> (WCC 80 M <sup>2</sup> )

WIDTHS:	PROVIDED:	MIN. REQUIRED:
LIVING ROOM (OPEN PLAN)	3.6 M	3.6 M
BEDROOM 1 (DOUBLE)	3.0 M	2.8 M
BEDROOM 2 (DOUBLE)	2.85 M	2.8 M

\*FIGURES TAKEN FROM QUALITY HOUSING FOR SUSTAINABLE COMMUNITIES PUBLISHED BY THE DOEHLG.



KEY PLAN

## TERRACE BLOCK TYPE 17—CHARACTER AREA 1

## NOTES:

DO NOT SCALE. USE ONLY FIGURED DIMENSIONS WHICH SHOULD BE CHECKED ON SITE BEFORE WORK COMMENCES.

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## LEGEND:

REFER TO THE SITE LAYOUT DRAWING FOR THE ORIENTATION AND FLOOR LEVELS FOR EACH DWELLING .

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RIA  
2021

PROJECT: PROPOSED GREAT CONNELL SHD AT NEWBRIDGE, CO. KILDARE.

TITLE: PROPOSED PLANS FOR TERRACE BLOCK TYPE 17—CHARACTER AREA 1.

CLIENT: ASTON LTD.

STAGE: PLANNING

PROJECT NO.: 19070

DRG. NO.: PA-083 (SHEET 1 OF 2)

SCALE: 1:100  
DATE: MARCH 2022

DRAWN: POF  
CHECKED: POF

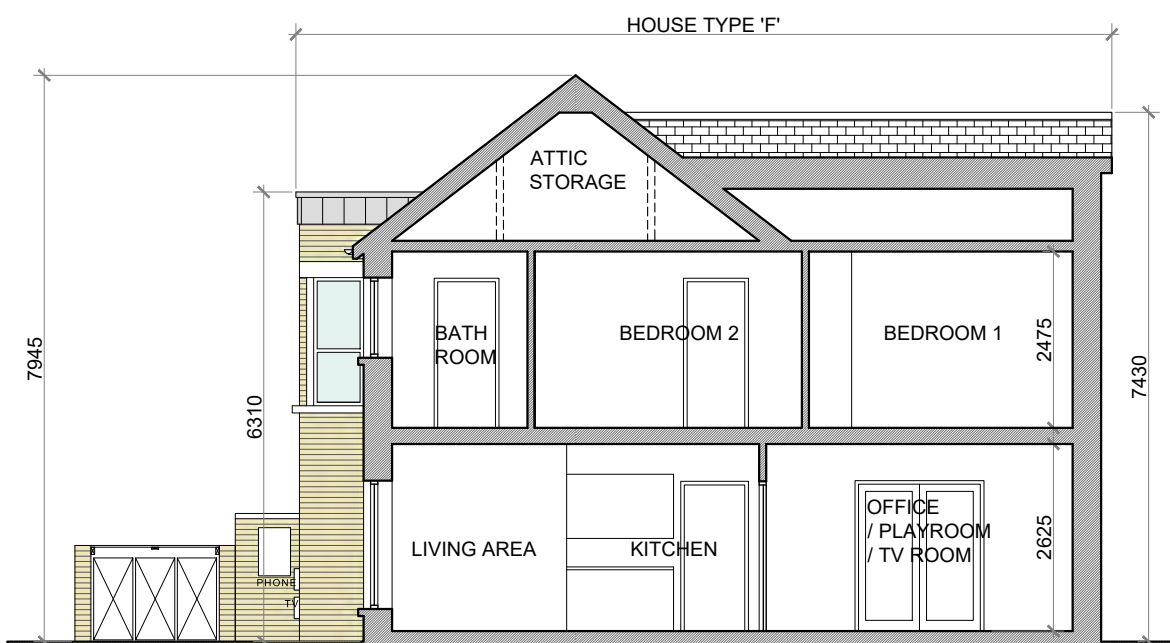




SIDE (DUAL FRONTAGE) ELEVATION @ 1:100  
TERRACE BLOCK TYPE 17



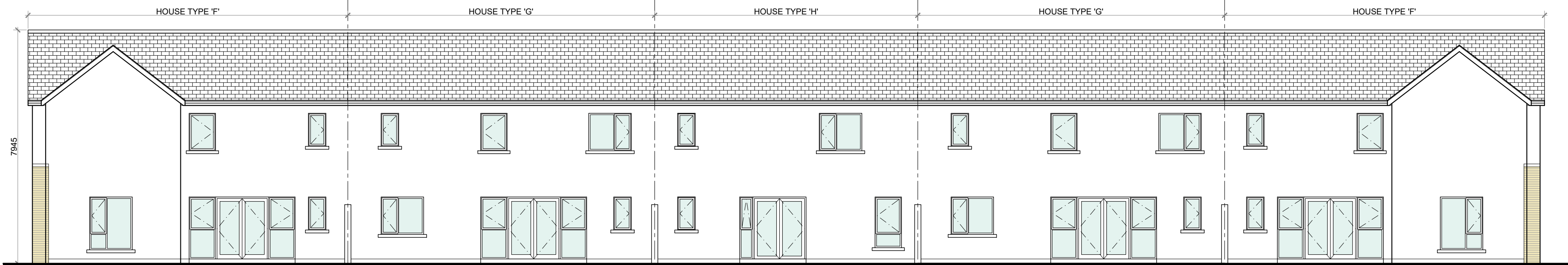
SIDE (DUAL FRONTAGE) ELEVATION @ 1:100  
TERRACE BLOCK TYPE 17



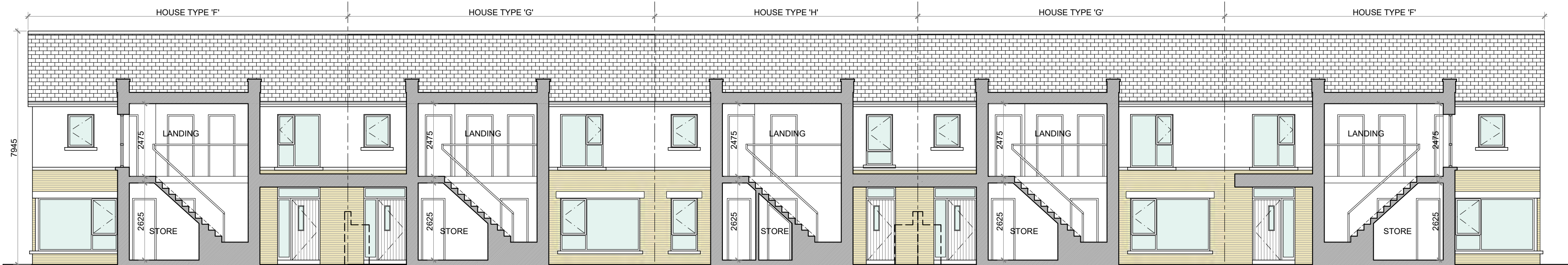
SECTION A-A @ 1:100  
TERRACE BLOCK TYPE 17



FRONT ELEVATION @ 1:100  
TERRACE BLOCK TYPE 17



REAR ELEVATION @ 1:100  
TERRACE BLOCK TYPE 17



SECTION B-B @ 1:100  
TERRACE BLOCK TYPE 17

PROPOSED FINISHES:

SLATE / TILED FINISH TO ROOF  
WITH STANDING SEAM ZINC CLAD  
FINISH (OR SIMILAR APPROVED)  
TO FLAT ROOF AREAS &  
ENTRANCE CANOPIES AS  
INDICATED.

UPVC / ALUMINIUM FINISH TO  
FASCIAS, GUTTERS AND  
DOWNPIPES.

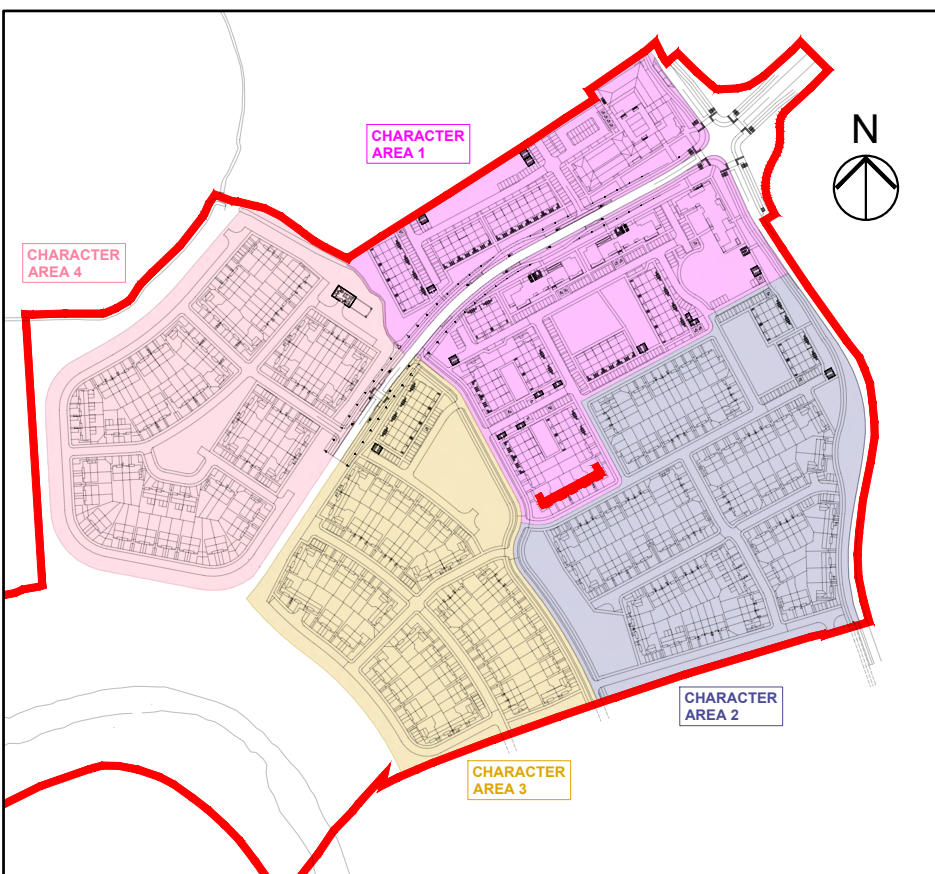
SELECTED BRICK FINISH TO  
AREAS AS INDICATED.

PLASTER / RENDER FINISH TO  
WALLS AS INDICATED.

UPVC / ALUMINIUM / TIMBER FINISH  
TO WINDOWS AND DOORS.

PAINTED CONCRETE / STONE  
SILLS AND CAPPINGS.

PLASTER / RENDER FINISH TO  
PLINTH.



KEY PLAN

TERRACE BLOCK TYPE 17—CHARACTER AREA 1

NOTES:

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LEGEND:

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RIAI  
2021

PROJECT: PROPOSED GREAT CONNELL SHD AT NEWBRIDGE, CO. KILDARE.

TITLE: PROPOSED ELEVATIONS & SECTIONS FOR TERRACE BLOCK TYPE 17—CHARACTER AREA 1.

CLIENT: ASTON LTD.

STAGE: PLANNING

PROJECT NO.: 19070

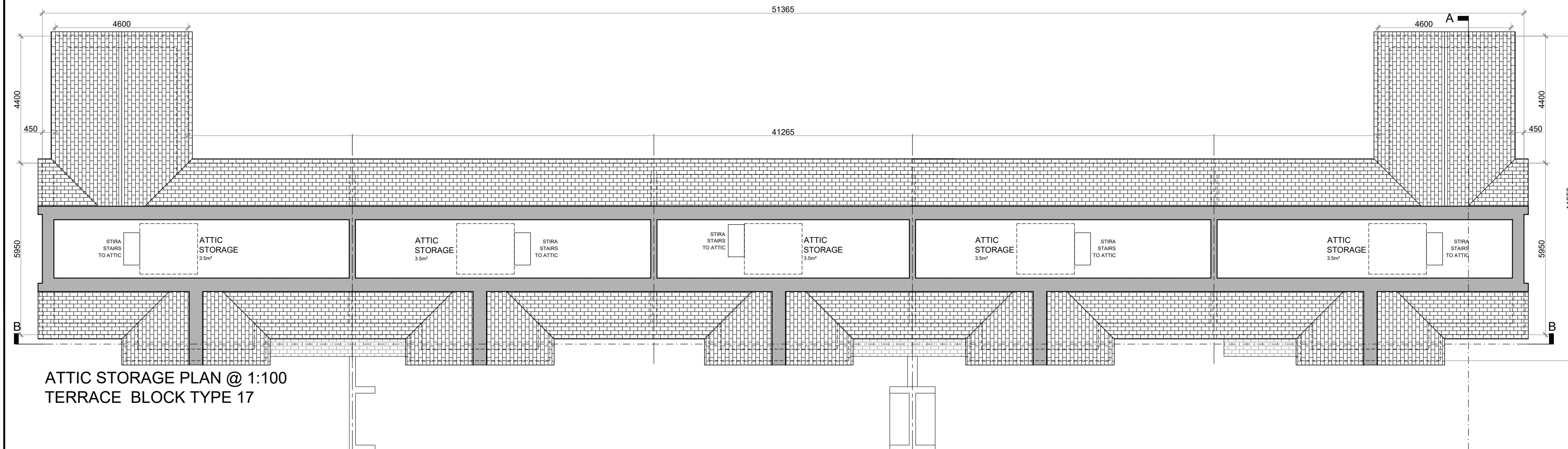
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SCALE: 1:100, 1:200  
DATE: JANUARY 2022

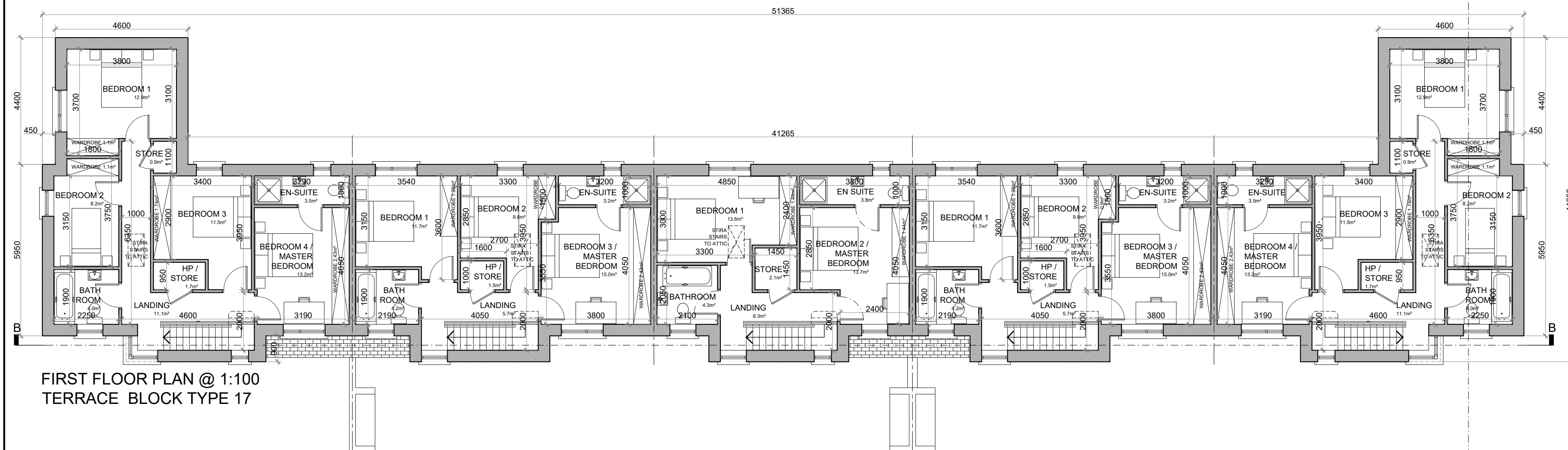
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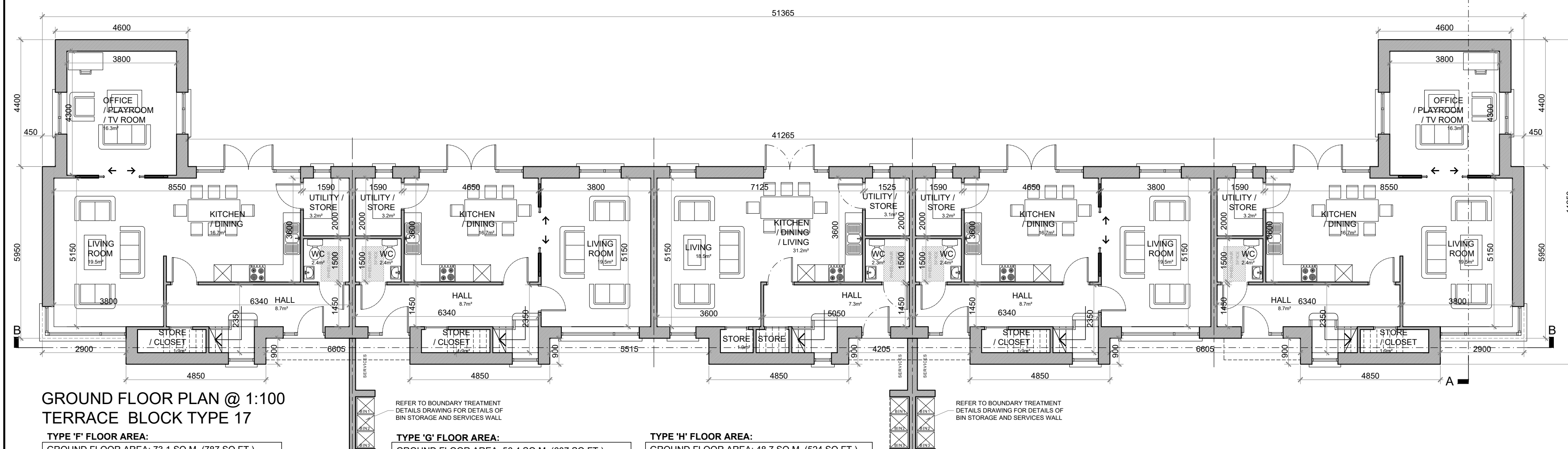
A1



ATTIC STORAGE PLAN @ 1:100  
TERRACE BLOCK TYPE 17



FIRST FLOOR PLAN @ 1:100  
TERRACE BLOCK TYPE 17



GROUND FLOOR PLAN @ 1:100  
TERRACE BLOCK TYPE 17

**TYPE 'F' FLOOR AREA:**  
GROUND FLOOR AREA: 73.1 SQ.M. (787 SQ.FT.)  
FIRST FLOOR AREA: 73.3 SQ.M. (787 SQ.FT.)  
TOTAL FLOOR AREA: 146.2 SQ.M. (1,574 SQ.FT.)

**TYPE 'G' FLOOR AREA:**  
GROUND FLOOR AREA: 56.4 SQ.M. (607 SQ.FT.)  
FIRST FLOOR AREA: 56.4 SQ.M. (607 SQ.FT.)  
TOTAL FLOOR AREA: 112.8 SQ.M. (1,214 SQ.FT.)

**TYPE 'H' FLOOR AREA:**  
GROUND FLOOR AREA: 48.7 SQ.M. (524 SQ.FT.)  
FIRST FLOOR AREA: 48.7 SQ.M. (524 SQ.FT.)  
TOTAL FLOOR AREA: 97.4 SQ.M. (1,048 SQ.FT.)

**HOUSE TYPE 'F'**  
4 BED TERRACE—7 PERSON

**FLOOR AREA / ROOM WIDTH REQUIREMENTS\*:**

AREAS:	PROVIDED:	MIN. REQUIRED:
MAIN LIVING ROOM	19.5 M <sup>2</sup>	15 M <sup>2</sup>
BEDROOM 1	12.8 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 2	8.2 M <sup>2</sup>	7.1 M <sup>2</sup>
BEDROOM 3	11.5 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 4 (MAIN)	13.2 M <sup>2</sup>	13 M <sup>2</sup>
AGGREGATE LIVING	52.5 M <sup>2</sup>	40 M <sup>2</sup>
AGGREGATE BEDROOM	45.5 M <sup>2</sup>	43 M <sup>2</sup>
GROSS STORAGE	11.2 M <sup>2</sup>	6 M <sup>2</sup> (ACC 10 M <sup>2</sup> )
GROSS FLOOR SPACE	146.2 M <sup>2</sup>	110 M <sup>2</sup> (ACC 110 M <sup>2</sup> )

**WIDTHS:**

	PROVIDED:	MIN. REQUIRED:
LIVING ROOM	3.8 M	3.8 M
BEDROOM 1 (DOUBLE)	3.1 M	2.9 M
BEDROOM 2 (SINGLE)	2.25 M	2.1 M
BEDROOM 3 (DOUBLE)	2.9 M	2.8 M
BEDROOM 4 (DOUBLE)	3.19 M	2.8 M

\*FIGURES TAKEN FROM QUALITY HOUSING FOR SUSTAINABLE COMMUNITIES PUBLISHED BY THE DGEHLG.

**HOUSE TYPE 'G'**  
3 BED TERRACE—5 PERSON

**FLOOR AREA / ROOM WIDTH REQUIREMENTS\*:**

AREAS:	PROVIDED:	MIN. REQUIRED:
MAIN LIVING ROOM	19.5 M <sup>2</sup>	15 M <sup>2</sup>
BEDROOM 1	11.7 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 2 (MAIN)	9.5 M <sup>2</sup>	7.1 M <sup>2</sup>
BEDROOM 3 (MAIN)	15.0 M <sup>2</sup>	13 M <sup>2</sup>
AGGREGATE LIVING	36.2 M <sup>2</sup>	25 M <sup>2</sup>
AGGREGATE BEDROOM	36.5 M <sup>2</sup>	32 M <sup>2</sup>
GROSS STORAGE	10.1 M <sup>2</sup>	5 M <sup>2</sup> (ACC 5 M <sup>2</sup> )
GROSS FLOOR SPACE	112.8 M <sup>2</sup>	92 M <sup>2</sup> (ACC 100 M <sup>2</sup> )

**WIDTHS:**

	PROVIDED:	MIN. REQUIRED:
LIVING ROOM	3.8 M	3.8 M
BEDROOM 1 (DOUBLE)	3.15 M	2.8 M
BEDROOM 2 (SINGLE)	2.7 M	2.1 M
BEDROOM 3 (DOUBLE)	3.19 M	2.8 M

\*FIGURES TAKEN FROM QUALITY HOUSING FOR SUSTAINABLE COMMUNITIES PUBLISHED BY THE DGEHLG.

**HOUSE TYPE 'H'**  
2 BED TERRACE—4 PERSON

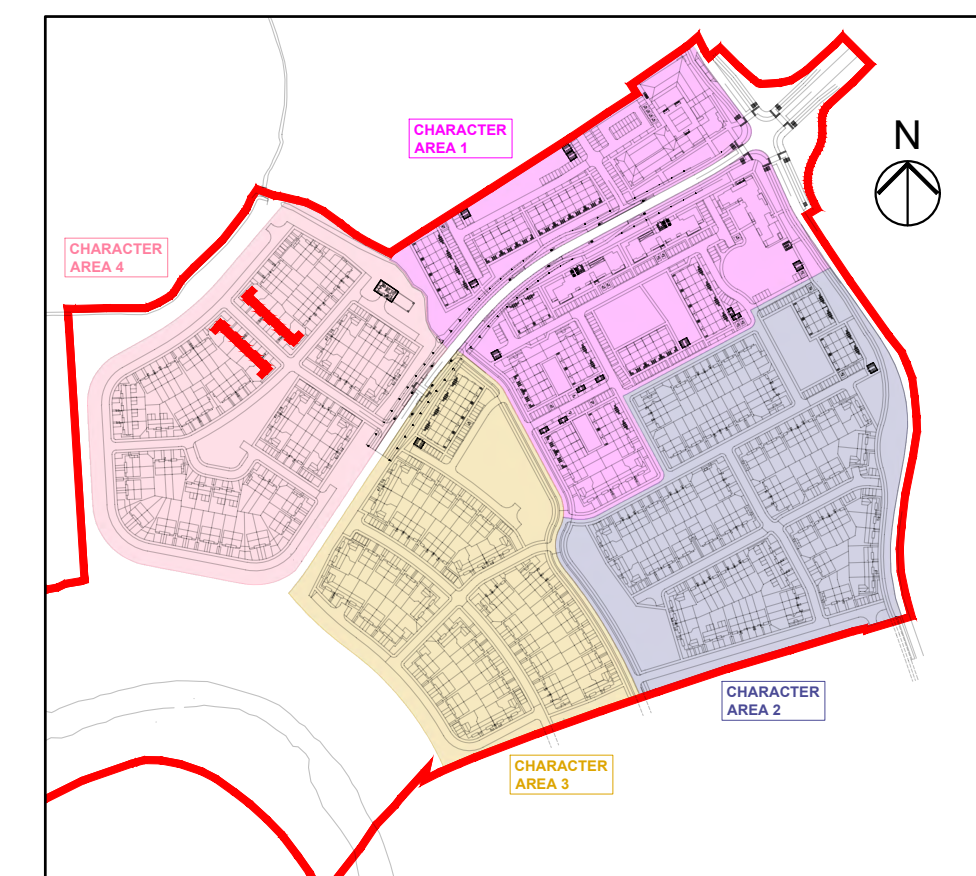
**FLOOR AREA / ROOM WIDTH REQUIREMENTS\*:**

AREAS:	PROVIDED:	MIN. REQUIRED:
MAIN LIVING ROOM	18.6 M <sup>2</sup>	13 M <sup>2</sup>
BEDROOM 1	13.6 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 2 (MAIN)	13.7 M <sup>2</sup>	13 M <sup>2</sup>
AGGREGATE LIVING	31.2 M <sup>2</sup>	30 M <sup>2</sup>
AGGREGATE BEDROOM	27.3 M <sup>2</sup>	25 M <sup>2</sup>
GROSS STORAGE	10.6 M <sup>2</sup>	4 M <sup>2</sup> (ACC 4 M <sup>2</sup> )
GROSS FLOOR SPACE	97.4 M <sup>2</sup>	80 M <sup>2</sup> (ACC 80 M <sup>2</sup> )

**WIDTHS:**

	PROVIDED:	MIN. REQUIRED:
LIVING ROOM (OPEN PLAN)	3.6 M	3.6 M
BEDROOM 1 (DOUBLE)	3.0 M	2.8 M
BEDROOM 2 (DOUBLE)	2.85 M	2.8 M

\*FIGURES TAKEN FROM QUALITY HOUSING FOR SUSTAINABLE COMMUNITIES PUBLISHED BY THE DGEHLG.



KEY PLAN

## TERRACE BLOCK TYPE 17—CHARACTER AREA 4

### NOTES:

DO NOT SCALE. USE ONLY FIGURED DIMENSIONS WHICH SHOULD BE CHECKED ON SITE BEFORE WORK COMMENCES.

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### DATE:

### LEGEND:

REFER TO THE SITE LAYOUT DRAWING FOR THE ORIENTATION AND FLOOR LEVELS FOR EACH DWELLING .

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**RIA**  
2021

PROJECT: PROPOSED GREAT CONNELL SHD AT NEWBRIDGE, CO. KILDARE.

TITLE: PROPOSED PLANS FOR TERRACE BLOCK TYPE 17—CHARACTER AREA 4.

CLIENT: ASTON LTD.

STAGE: PLANNING

PROJECT NO.: 19070

DRG. NO.: PA-085 (SHEET 1 OF 2)

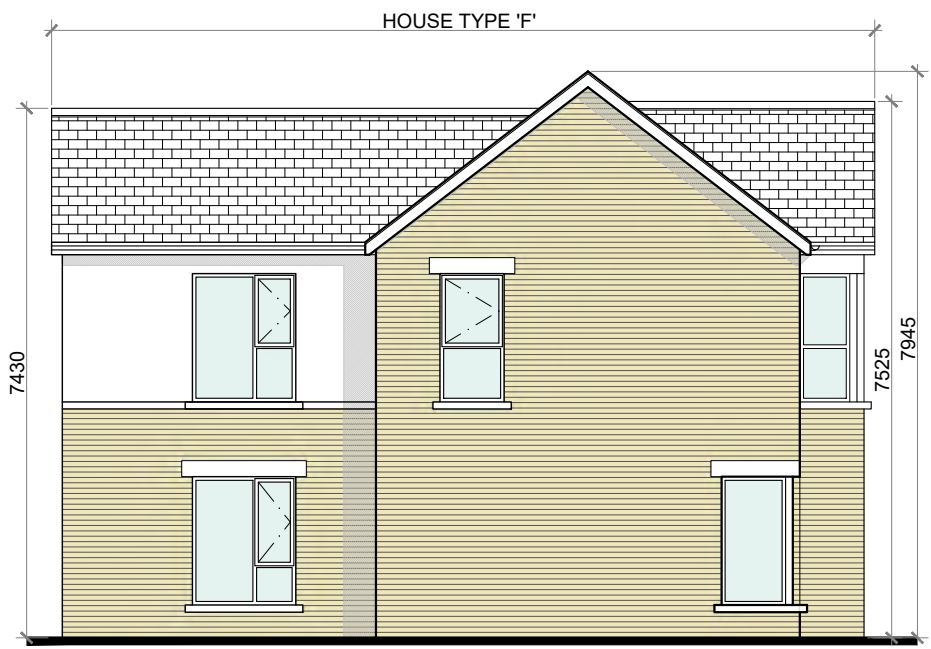
SCALE: 1:100  
DATE: MARCH 2022

DRAWN: POF  
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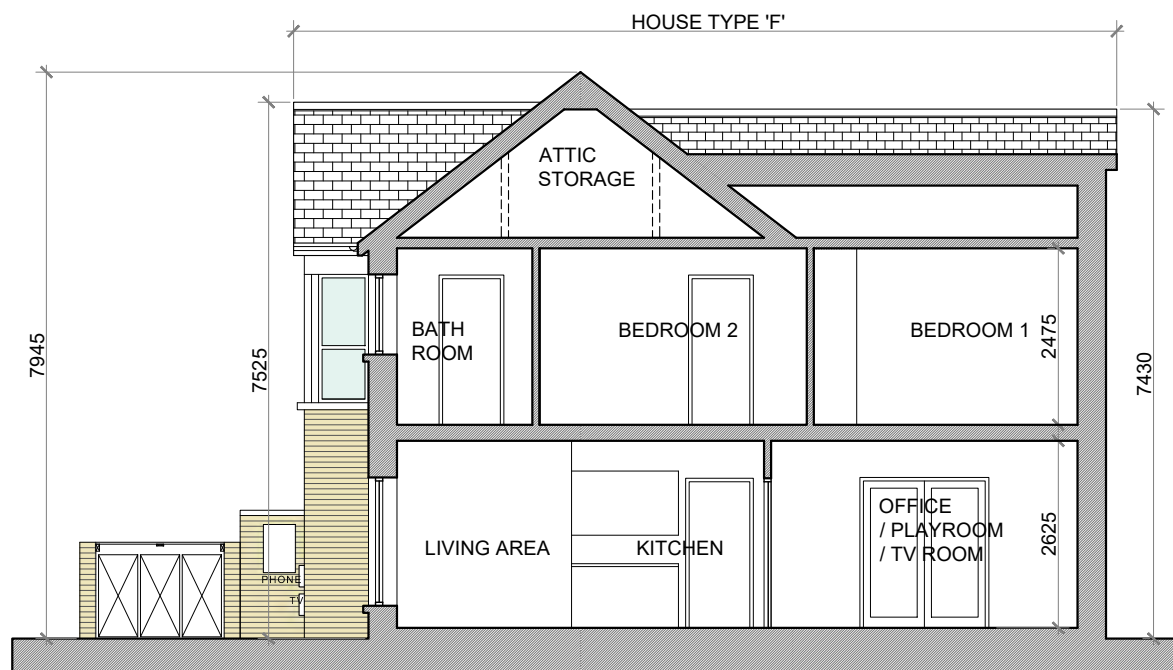




SIDE (DUAL FRONTAGE) ELEVATION @ 1:100  
TERRACE BLOCK TYPE 17



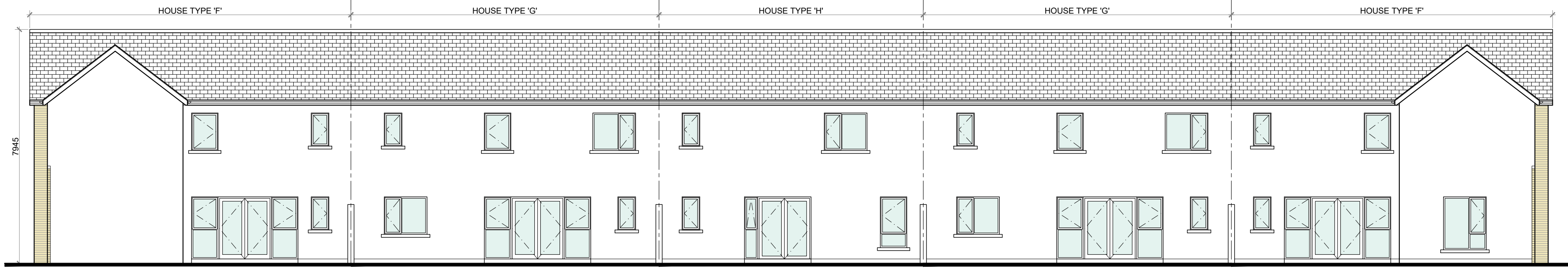
SIDE (DUAL FRONTAGE) ELEVATION @ 1:100  
TERRACE BLOCK TYPE 17



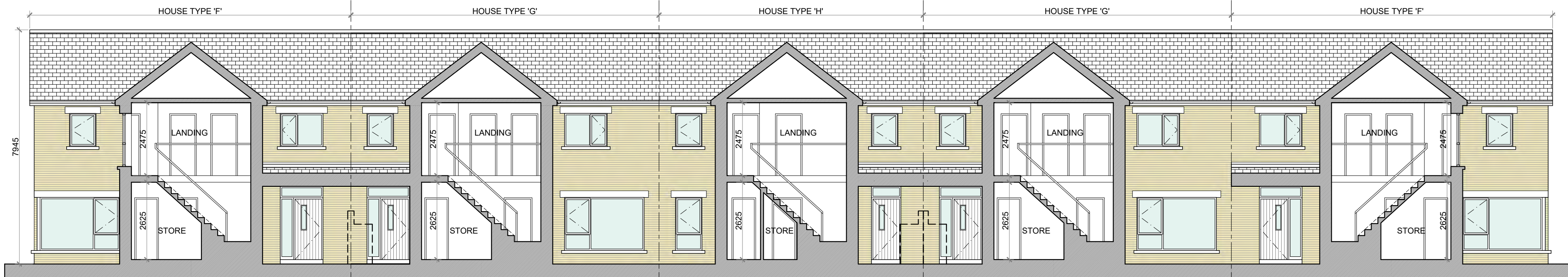
SECTION A-A @ 1:100  
TERRACE BLOCK TYPE 17



FRONT ELEVATION @ 1:100  
TERRACE BLOCK TYPE 17

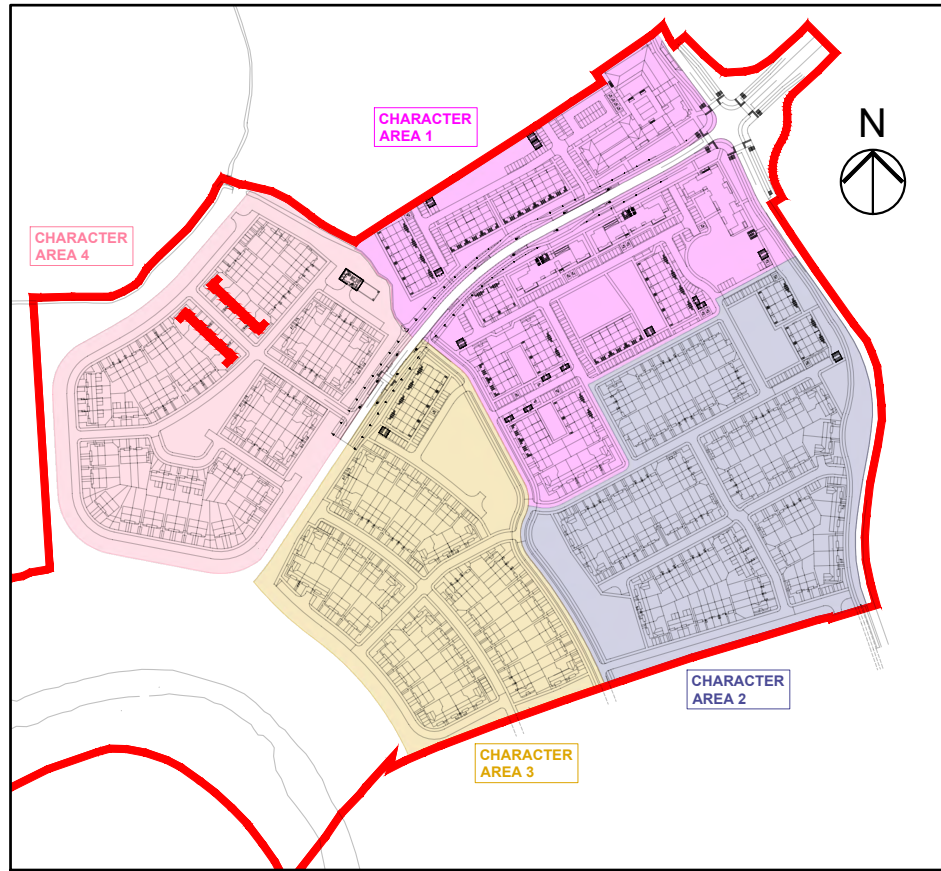


REAR ELEVATION @ 1:100  
TERRACE BLOCK TYPE 17



SECTION B-B @ 1:100  
TERRACE BLOCK TYPE 17

**PROPOSED FINISHES:**  
SLATE / TILED FINISH TO ROOF.  
UPVC / ALUMINIUM FINISH TO FASCIA, GUTTERS AND DOWNPIPES.  
SELECTED BRICK FINISH TO AREAS AS INDICATED.  
PLASTER / RENDER FINISH TO WALLS AS INDICATED.  
UPVC / ALUMINIUM / TIMBER FINISH TO WINDOWS AND DOORS.  
PAINTED CONCRETE / STONE SILLS AND CAPPINGS.  
PLASTER / RENDER FINISH TO PLINTH.



KEY PLAN

TERRACE BLOCK TYPE 17—CHARACTER AREA 4

**NOTES:**  
DO NOT SCALE. USE ONLY FIGURED DIMENSIONS WHICH SHOULD BE CHECKED ON SITE BEFORE WORK COMMENCES.  
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A			I	
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D			L	
E			M	
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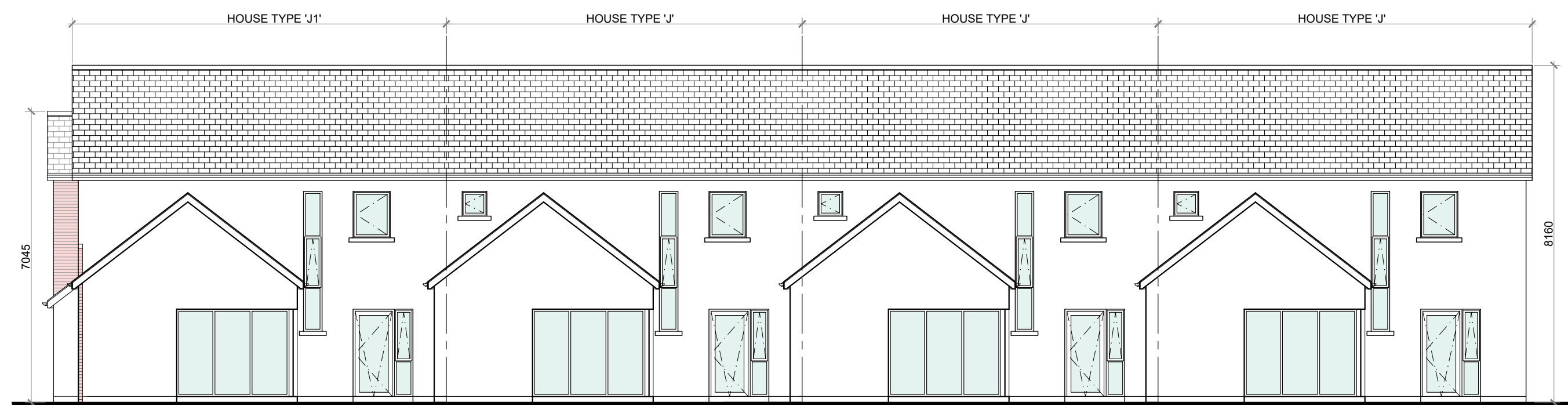
**LEGEND:**  
REFER TO THE SITE LAYOUT DRAWING FOR THE ORIENTATION AND FLOOR LEVELS FOR EACH DWELLING .

<b>OFA</b> O'FLYNN ARCHITECTS, LOWER DYKE STREET, NEWBRIDGE, CO. KILDARE. TEL: 045 433400 EMAIL: info@oflynnarchitects.ie WEB: www.oflynnarchitects.ie		PROJECT: PROPOSED GREAT CONNELL SHD AT NEWBRIDGE, CO. KILDARE.	
<b>RIAI</b> Registered Architect 2021		TITLE: PROPOSED ELEVATIONS & SECTIONS FOR TERRACE BLOCK TYPE 17—CHARACTER AREA 4.	
CLIENT: ASTON LTD.		STAGE: PLANNING	
PROJECT NO.: 19070		DRG. NO.: PA-086 (SHEET 2 OF 2)	
SCALE: 1:100		DRAWN: POF	
DATE: MARCH 2022		CHECKED: POF	

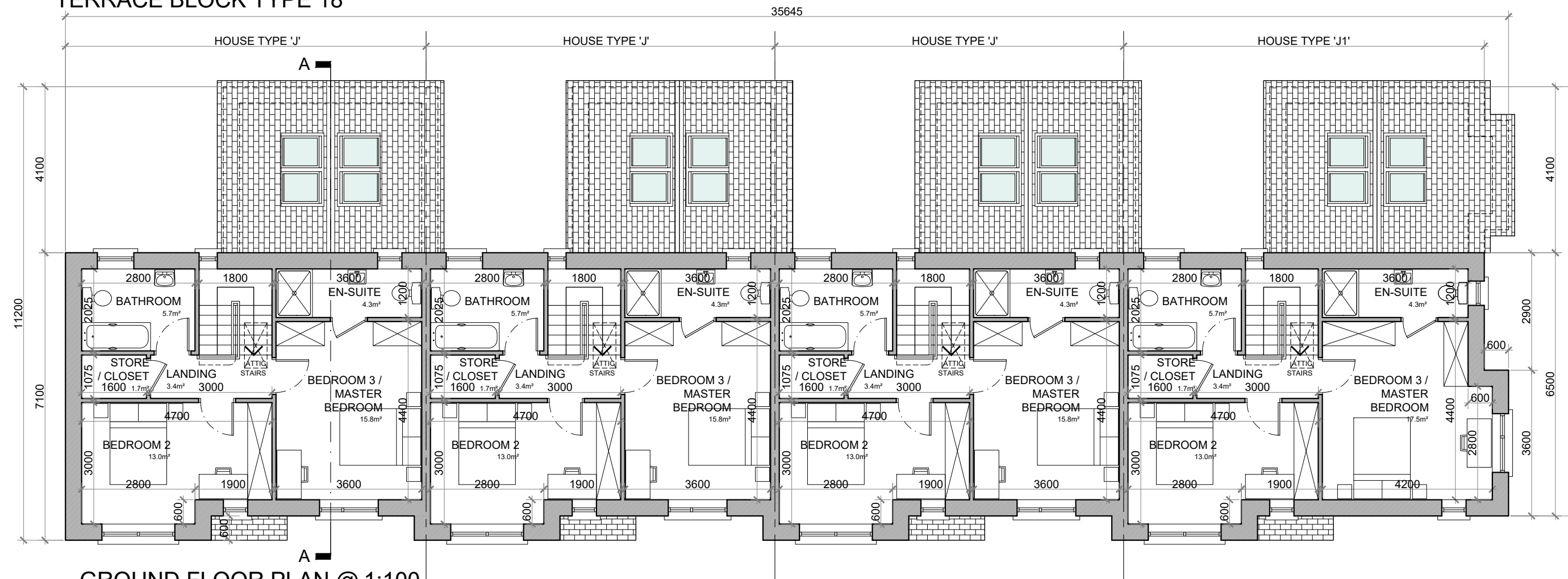




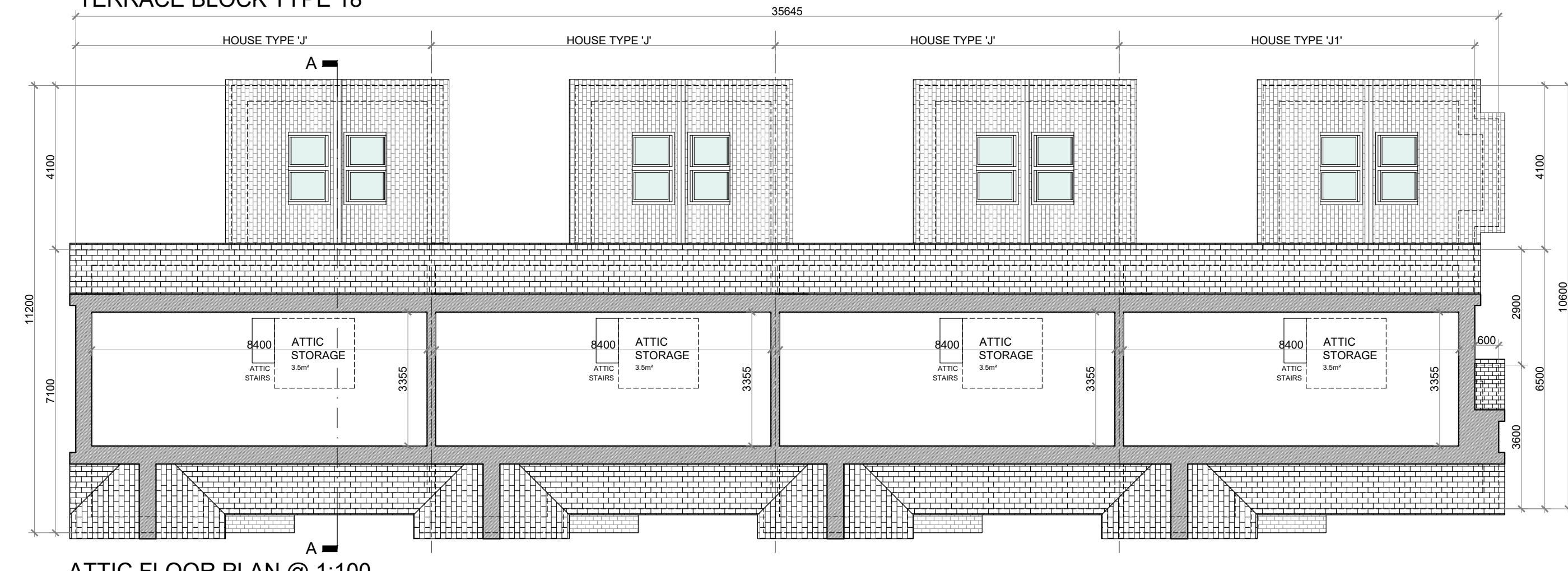
FRONT ELEVATION @ 1:100  
TERRACE BLOCK TYPE 18



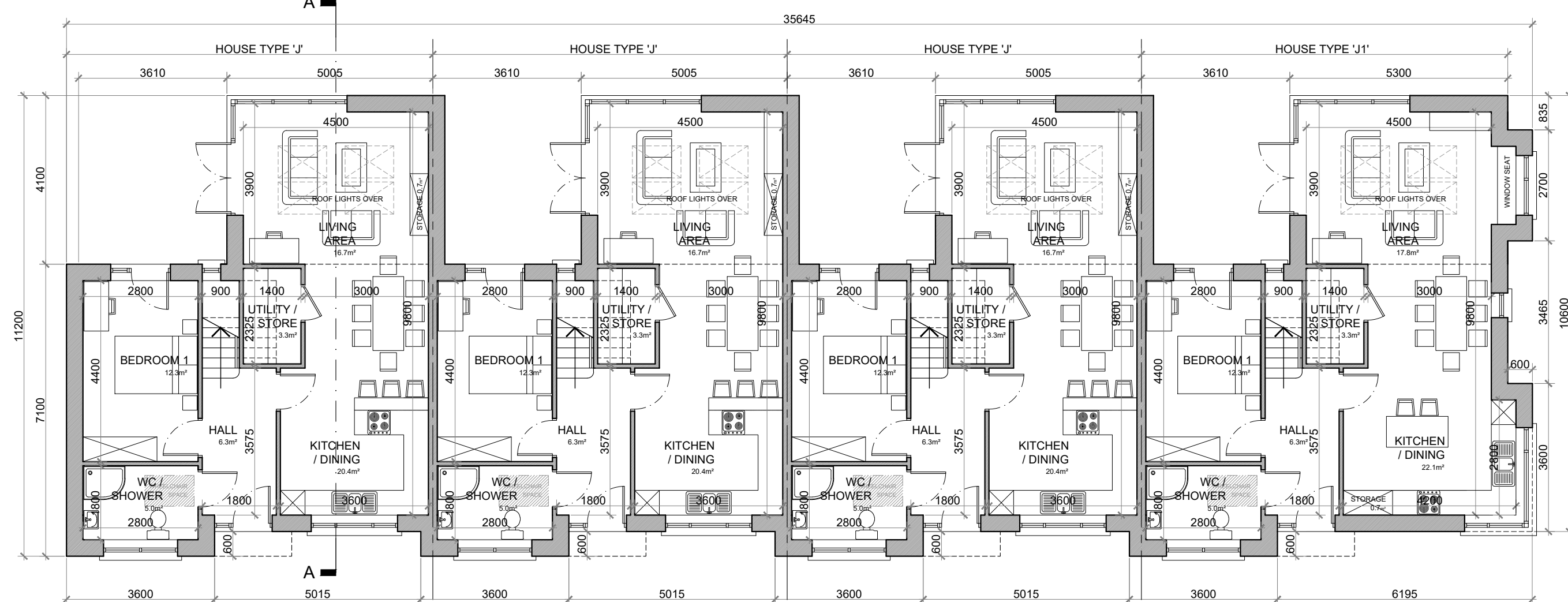
REAR ELEVATION @ 1:100  
TERRACE BLOCK TYPE 18



GROUND FLOOR PLAN @ 1:100  
TERRACE BLOCK TYPE 18



ATTIC FLOOR PLAN @ 1:100  
TERRACE BLOCK TYPE 18



GROUND FLOOR PLAN @ 1:100  
TERRACE BLOCK TYPE 18

**TYPE 'J' FLOOR AREA:**  
GROUND FLOOR AREA: 68.0 SQ.M. (732 SQ.FT.)  
FIRST FLOOR AREA: 49.6 SQ.M. (534 SQ.FT.)  
TOTAL FLOOR AREA: 117.6 SQ.M. (1,266 SQ.FT.)

**TYPE 'J1' FLOOR AREA:**  
GROUND FLOOR AREA: 70.8 SQ.M. (762 SQ.FT.)  
FIRST FLOOR AREA: 51.2 SQ.M. (551 SQ.FT.)  
TOTAL FLOOR AREA: 122.0 SQ.M. (1,313 SQ.FT.)

#### HOUSE TYPE 'J'

3 BED TERRACE—6 PERSON

##### FLOOR AREA / ROOM WIDTH REQUIREMENTS:

AREAS:	PROVIDED:	MIN. REQUIRED:
MAIN LIVING ROOM	18.7M <sup>2</sup>	15.0M <sup>2</sup>
BEDROOM 1	12.3 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 2	12.0 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 3 (MAIN)	15.8 M <sup>2</sup>	13 M <sup>2</sup>
AGGREGATE LIVING	37.1 M <sup>2</sup>	37 M <sup>2</sup>
AGGREGATE BEDROOM	41.1 M <sup>2</sup>	36 M <sup>2</sup>
GROSS STORAGE	9.2 M <sup>2</sup>	6 M <sup>2</sup> (ACC 9 M <sup>2</sup> )
GROSS FLOOR SPACE	117.6 M <sup>2</sup>	100 M <sup>2</sup> (ACC 100 M <sup>2</sup> )

WIDTHS:	PROVIDED:	MIN. REQUIRED:
LIVING ROOM	3.80 M	3.8 M
BEDROOM 1 (DOUBLE)	2.80 M	2.8 M
BEDROOM 2 (DOUBLE)	2.80 M	2.8 M
BEDROOM 3 (DOUBLE)	3.60 M	2.8 M

\*FIGURES TAKEN FROM QUALITY HOUSING FOR SUSTAINABLE COMMUNITIES PUBLISHED BY THE DOEHLG.

#### HOUSE TYPE 'J1'

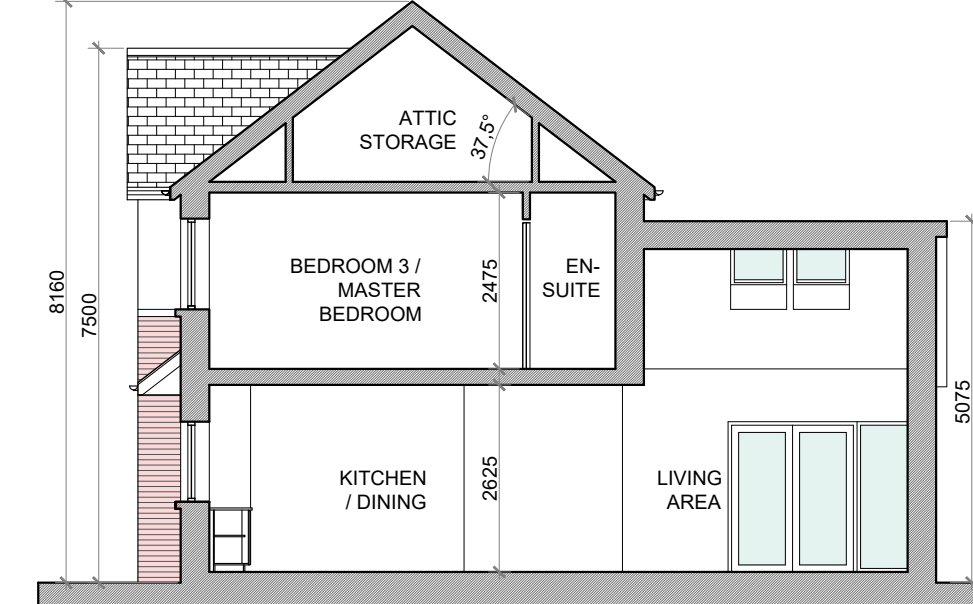
3 BED TERRACE—6 PERSON

##### FLOOR AREA / ROOM WIDTH REQUIREMENTS:

AREAS:	PROVIDED:	MIN. REQUIRED:
MAIN LIVING ROOM	17.8M <sup>2</sup>	15.0M <sup>2</sup>
BEDROOM 1	12.3 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 2	12.0 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 3 (MAIN)	17.5 M <sup>2</sup>	13 M <sup>2</sup>
AGGREGATE LIVING	39.9 M <sup>2</sup>	37 M <sup>2</sup>
AGGREGATE BEDROOM	42.8 M <sup>2</sup>	36 M <sup>2</sup>
GROSS STORAGE	9.2 M <sup>2</sup>	6 M <sup>2</sup> (ACC 9 M <sup>2</sup> )
GROSS FLOOR SPACE	122.0 M <sup>2</sup>	100 M <sup>2</sup> (ACC 100 M <sup>2</sup> )

WIDTHS:	PROVIDED:	MIN. REQUIRED:
LIVING ROOM	3.80 M	3.8 M
BEDROOM 1 (DOUBLE)	2.80 M	2.8 M
BEDROOM 2 (DOUBLE)	2.80 M	2.8 M
BEDROOM 3 (DOUBLE)	3.60 M	2.8 M

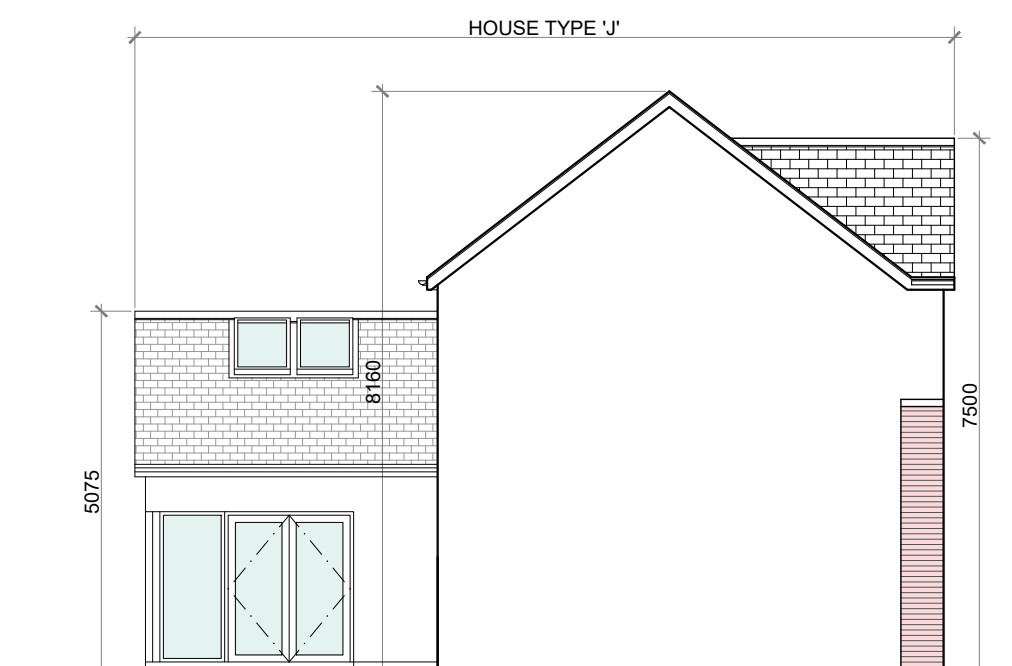
\*FIGURES TAKEN FROM QUALITY HOUSING FOR SUSTAINABLE COMMUNITIES PUBLISHED BY THE DOEHLG.



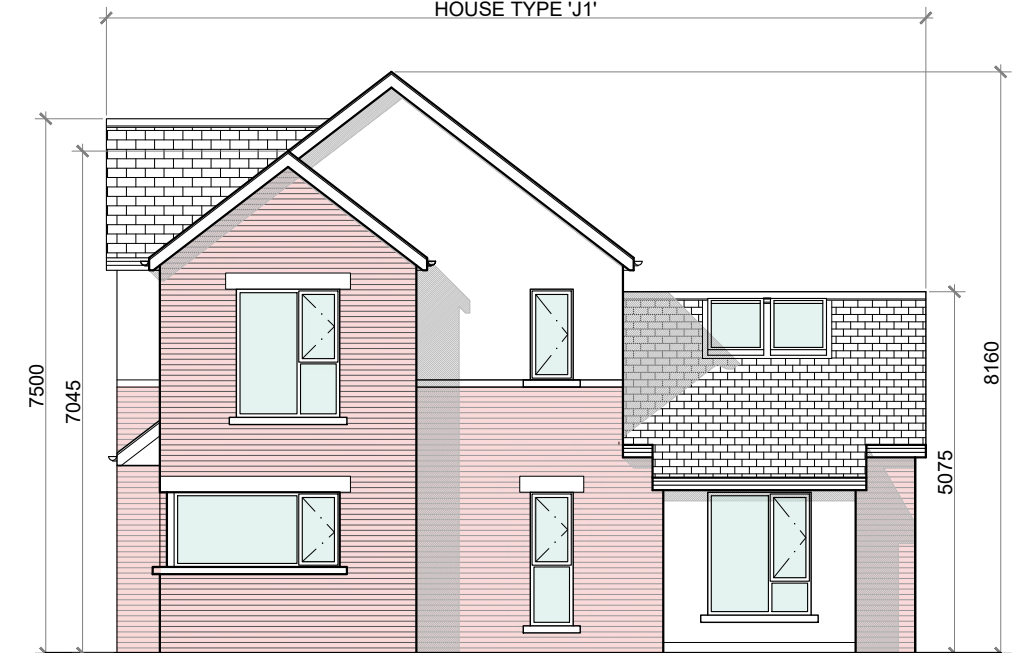
SECTION A-A @ 1:100  
TERRACE BLOCK TYPE 18

#### PROPOSED FINISHES:

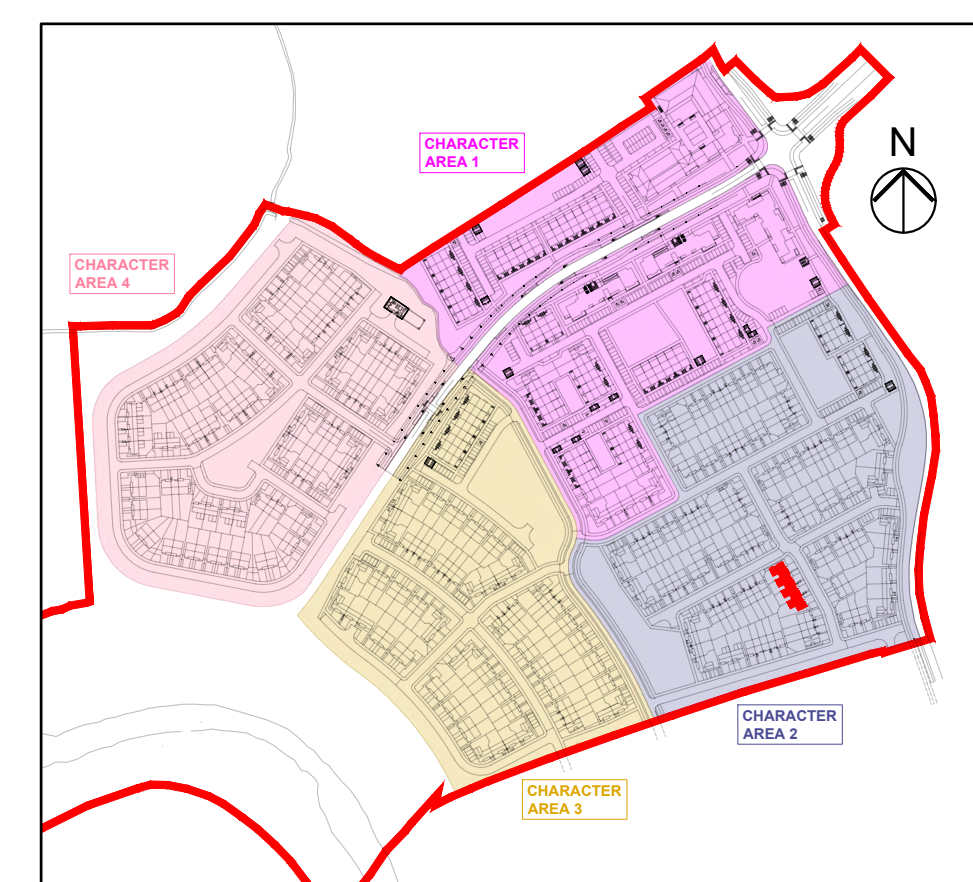
- SLATE / TILED FINISH TO ROOF.
- UPVC / ALUMINIUM FINISH TO FASCIAS, GUTTERS AND DOWNPIPES.
- SELECTED BRICK FINISH TO AREAS AS INDICATED.
- PLASTER / RENDER FINISH TO WALLS AS INDICATED.
- UPVC / ALUMINIUM / TIMBER FINISH TO WINDOWS AND DOORS.
- PAINTED CONCRETE / STONE SILLS AND CAPPINGS.
- PLASTER / RENDER FINISH TO PLINTH.



SIDE ELEVATION @ 1:100  
TERRACE BLOCK TYPE 18



SIDE ELEVATION (DUAL FRONTAGE) @ 1:100  
TERRACE BLOCK TYPE 18



KEY PLAN

TERRACE BLOCK TYPE 18—CHARACTER AREA 2

#### NOTES:

DO NOT SCALE. USE ONLY FIGURED DIMENSIONS WHICH SHOULD BE CHECKED ON SITE BEFORE WORK COMMENCES.

ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE LATEST BUILDING REGULATIONS.

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#### LEGEND:

REFER TO THE SITE LAYOUT DRAWING FOR THE ORIENTATION AND FLOOR LEVELS FOR EACH DWELLING .

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RIA  
2021

PROJECT: PROPOSED GREAT CONNELL SHD AT NEWBRIDGE, CO. KILDARE.

TITLE: PROPOSED PLANS, ELEVATIONS & SECTION FOR TERRACE BLOCK TYPE 18—CHARACTER AREA 2.

CLIENT: ASTON LTD.

STAGE: PLANNING

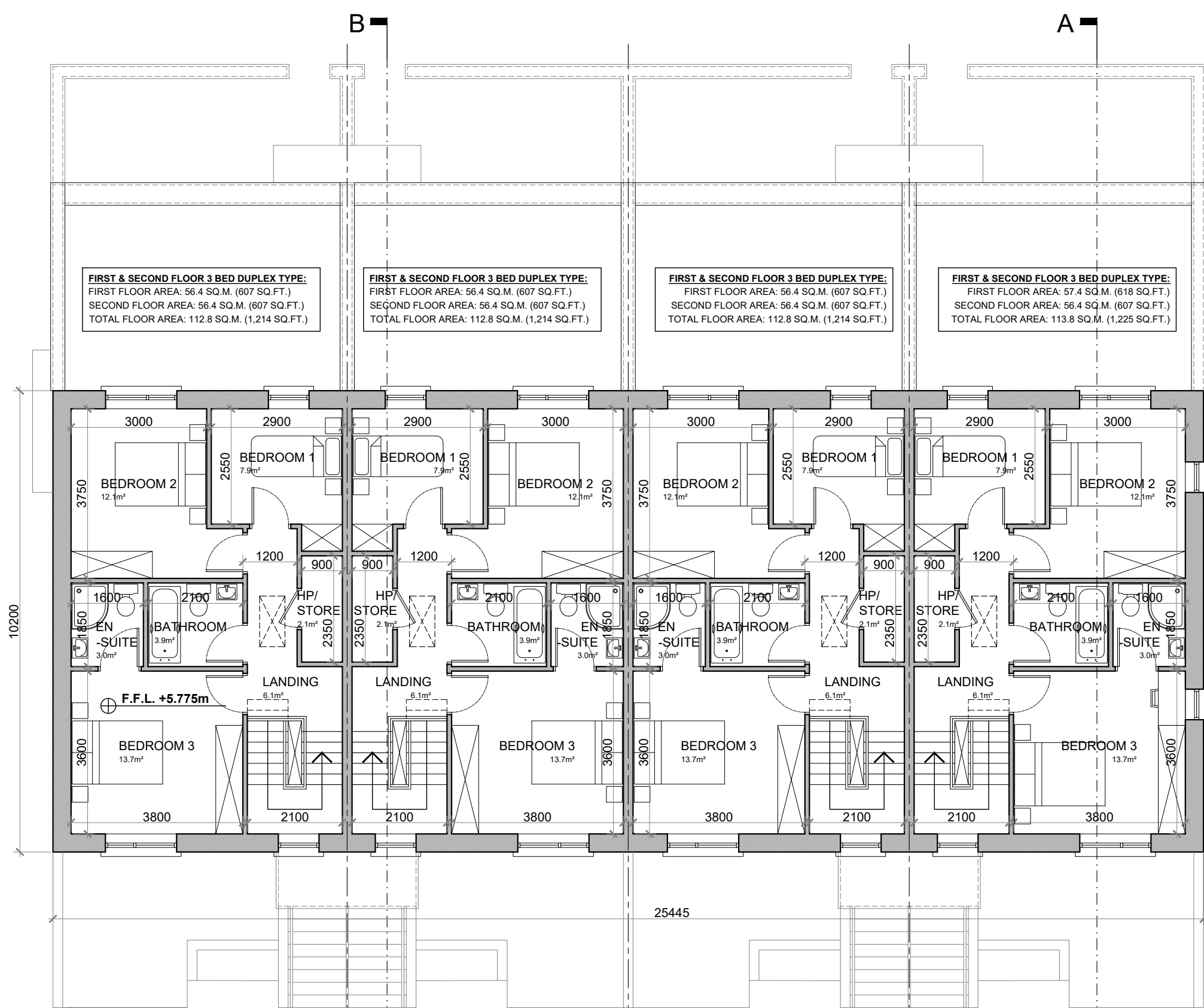
PROJECT NO.: 19070

DRG. NO.: PA-087

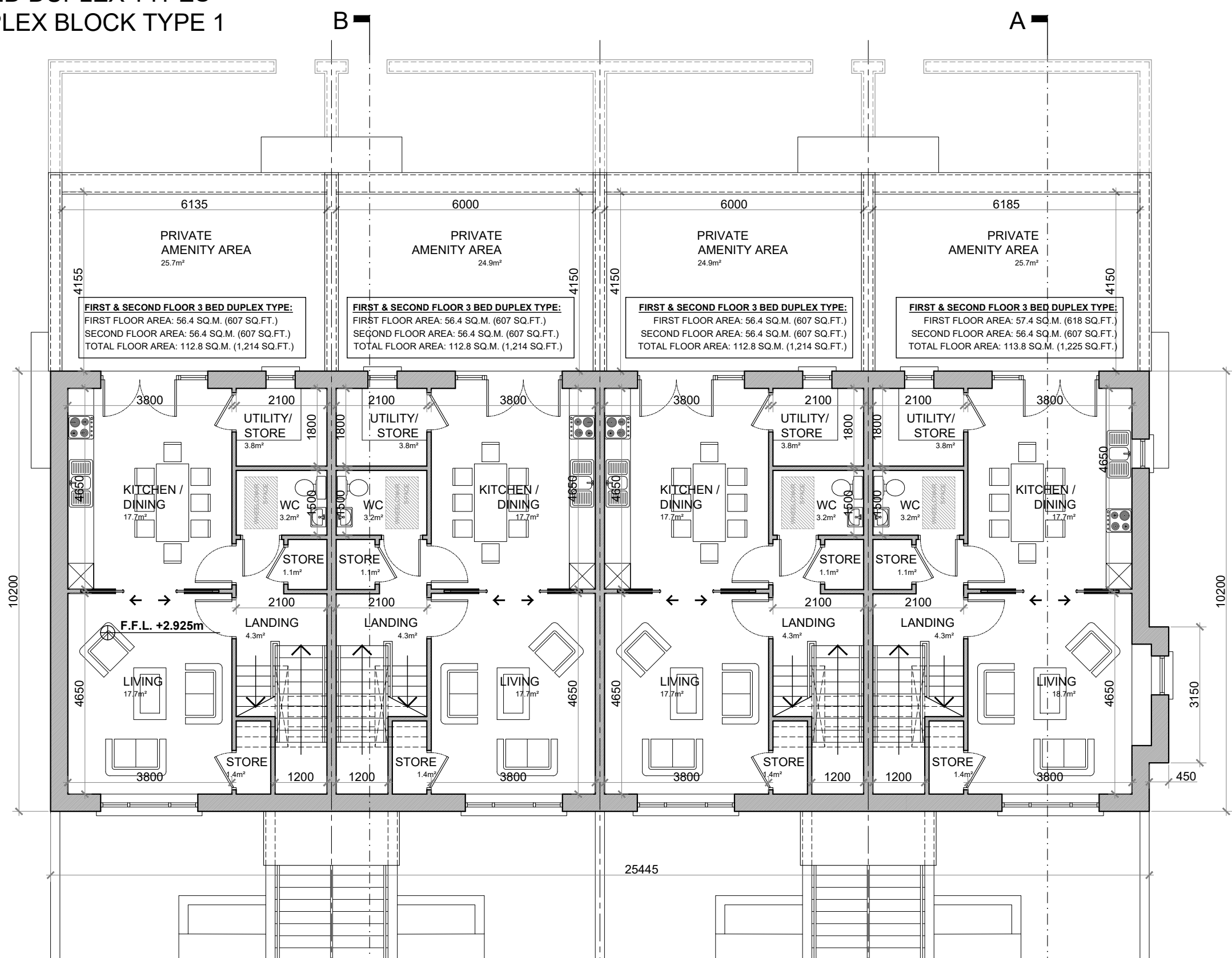
SCALE: 1:100  
DATE: MARCH 2022

DRAWN: POF  
CHECKED: POF





SECOND FLOOR PLAN @ 1:100  
3 BED DUPLEX TYPES  
DUPLEX BLOCK TYPE 1



FIRST FLOOR PLAN @ 1:100  
3 BED DUPLEX TYPES  
DUPLEX BLOCK TYPE 1

#### APARTMENT TYPE:

##### GROUND FLOOR 2 BED APARTMENT—4 PERSON

#### FLOOR AREA / ROOM WIDTH REQUIREMENTS\*:

##### AREAS:

BEDROOM 1	PROVIDED: 12.3 M <sup>2</sup>	MIN. REQUIRED: 11.4 M <sup>2</sup>
BEDROOM 2 (MAIN)	13.2 M <sup>2</sup>	13 M <sup>2</sup>
AGGREGATE LIVING	31.4 / 32.4 M <sup>2</sup>	30 M <sup>2</sup>
AGGREGATE BEDROOM	25.5 M <sup>2</sup>	24.4 M <sup>2</sup>
GROSS STORAGE	6.7 M <sup>2</sup>	6 M <sup>2</sup>
PRIVATE AMENITY SPACE	27.2 / 28.2 M <sup>2</sup>	7 M <sup>2</sup>
COMMUNAL AMENITY SPACE	>7 M <sup>2</sup>	7 M <sup>2</sup>
GROSS FLOOR SPACE	81.2 / 82.2 M <sup>2</sup>	73 M <sup>2</sup>

##### WIDTHS:

LIVING / DINING ROOM	PROVIDED: 4.7 M	MIN. REQUIRED: 3.6 M
BEDROOM 1 (DOUBLE)	3.1 M	2.8 M
BEDROOM 2 (DOUBLE)	3 M	2.8 M

\*FIGURES TAKEN FROM *SUSTAINABLE URBAN HOUSING: DESIGN STANDARDS FOR NEW APARTMENTS* PUBLISHED BY THE DoECLG.

#### APARTMENT TYPE:

##### 3 BED DUPLEX APARTMENT—5 PERSON

#### FLOOR AREA / ROOM WIDTH REQUIREMENTS\*:

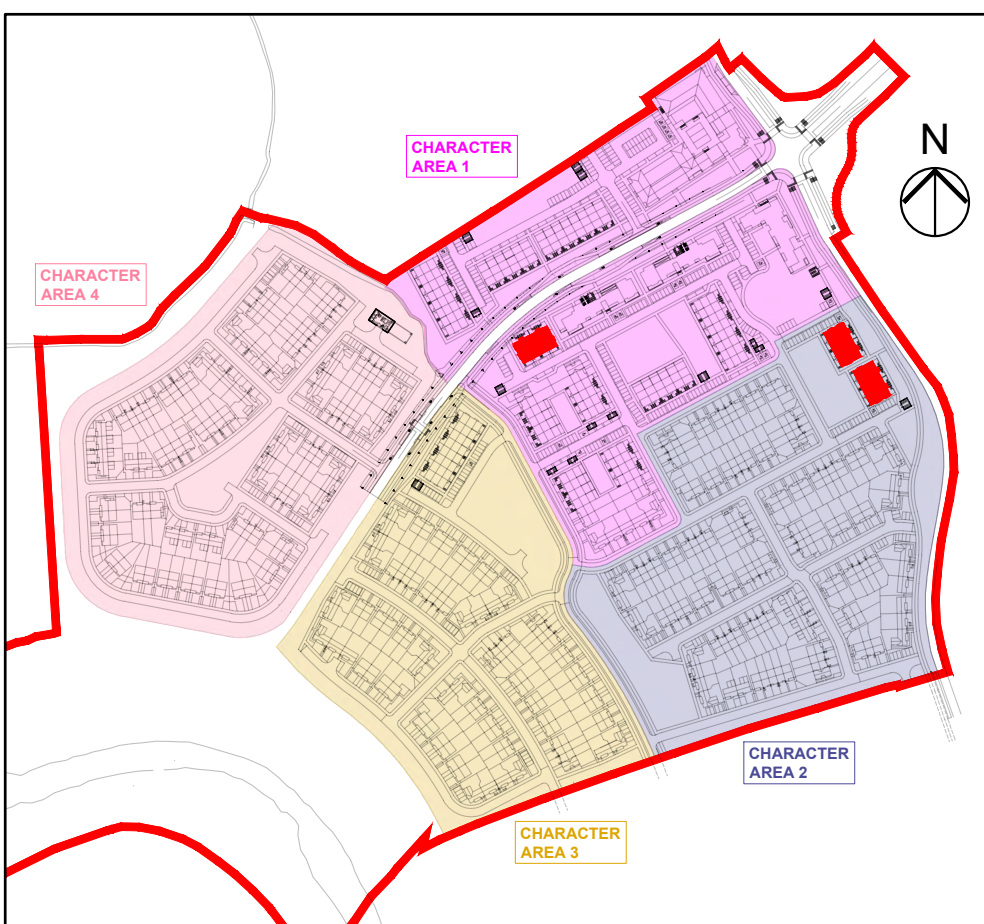
##### AREAS:

BEDROOM 1	PROVIDED: 7.9 M <sup>2</sup>	MIN. REQUIRED: 7.1 M <sup>2</sup>
BEDROOM 2	12.1 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 3 (MAIN)	13.7 M <sup>2</sup>	13 M <sup>2</sup>
AGGREGATE LIVING	35.4 / 36.4 M <sup>2</sup>	34 M <sup>2</sup>
AGGREGATE BEDROOM	33.7 M <sup>2</sup>	31.5 M <sup>2</sup>
GROSS STORAGE	11.9 M <sup>2</sup> (INCL. ATTIC) 9 M <sup>2</sup> (RCC 5M <sup>2</sup> )	9 M <sup>2</sup>
PRIVATE AMENITY SPACE	24.9 / 25.7 M <sup>2</sup>	9 M <sup>2</sup>
COMMUNAL AMENITY SPACE	>9 M <sup>2</sup>	9 M <sup>2</sup>
GROSS FLOOR SPACE	112.8 / 113.8 M <sup>2</sup>	90 M <sup>2</sup>

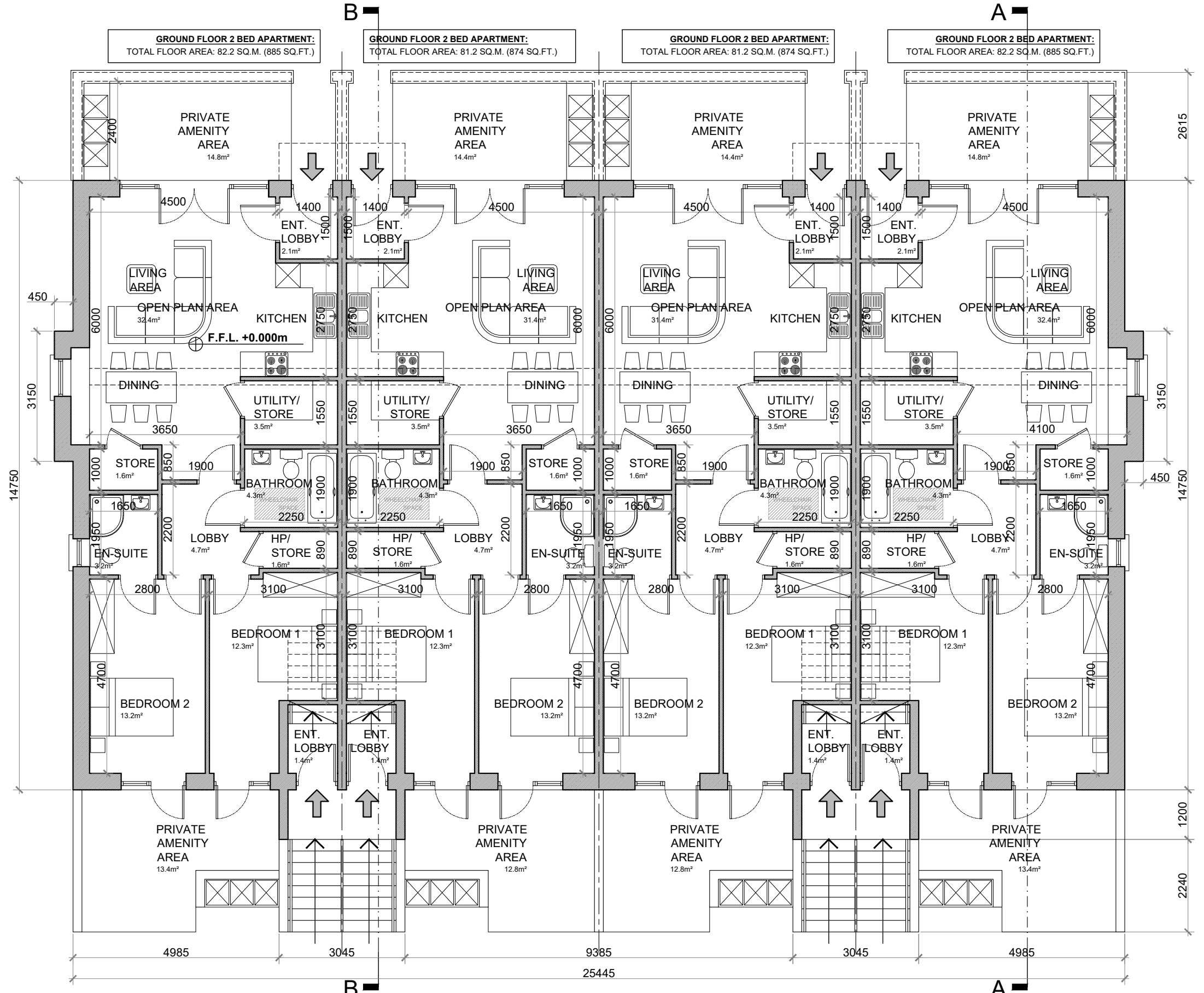
##### WIDTHS:

LIVING / DINING ROOM	PROVIDED: 3.8 M	MIN. REQUIRED: 3.6 M
BEDROOM 1 (SINGLE)	2.55 M	2.1 M
BEDROOM 2 (DOUBLE)	3 M	2.8 M
BEDROOM 3 (DOUBLE)	3.6 M	2.8 M

\*FIGURES TAKEN FROM *SUSTAINABLE URBAN HOUSING: DESIGN STANDARDS FOR NEW APARTMENTS* PUBLISHED BY THE DoECLG.



KEY PLAN



GROUND FLOOR PLAN @ 1:100  
2 BED APARTMENT TYPES  
DUPLEX BLOCK TYPE 1

DUPLEX BLOCK TYPE 1—CHARACTER AREAS 1 & 2

#### NOTES:

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RIA  
2021

PROJECT: PROPOSED GREAT CONNELL SHD AT NEWBRIDGE, CO. KILDARE.

TITLE: PROPOSED GROUND, FIRST & SECOND FLOOR PLANS OF DUPLEX BLOCK TYPE 1—CHARACTER AREAS 1 & 2.

CLIENT: ASTON LTD.

STAGE: PLANNING

PROJECT NO.: 19070

DRG. NO.: PA-100 (SHEET 1 OF 2)

SCALE: 1:100  
DATE: MARCH 2022

DRAWN: POF  
CHECKED: POF



PROPOSED FINISHES:

- SLATE / TILED FINISH TO ROOF WITH STANDING SEAM ZINC CLAD FINISH (OR SIMILAR APPROVED) TO FLAT ROOF AREAS & ENTRANCE CANOPIES AS INDICATED.
- UPVC / ALUMINIUM FINISH TO FASCIAS, GUTTERS AND DOWNPIPES.
- SELECTED BRICK FINISH TO WALLS AS INDICATED.
- PLASTER / RENDER FINISH TO WALLS AS INDICATED.
- STANDING SEAM ZINC CLAD FINISH (OR SIMILAR APPROVED) TO WALLS AS INDICATED.
- UPVC / ALUMINIUM / TIMBER FINISH TO WINDOWS AND DOORS.
- PAINTED CONCRETE / STONE SILLS AND CAPPINGS.
- PLASTER / RENDER FINISH TO PLINTH.



FRONT ELEVATION @ 1:100  
DUPLEX BLOCK TYPE 1 (CHARACTER AREA 1)



FRONT ELEVATION @ 1:100  
DUPLEX BLOCK TYPE 1 (CHARACTER AREA 2)

NOTE ON BRICK FINISH IN CHARACTER AREAS 2 & 4:

AREAS OF BRICK ON ELEVATIONS IN CHARACTER AREA 2 ARE TO BE RED AND IN CHARACTER AREA 4 ARE TO BE BUFF.



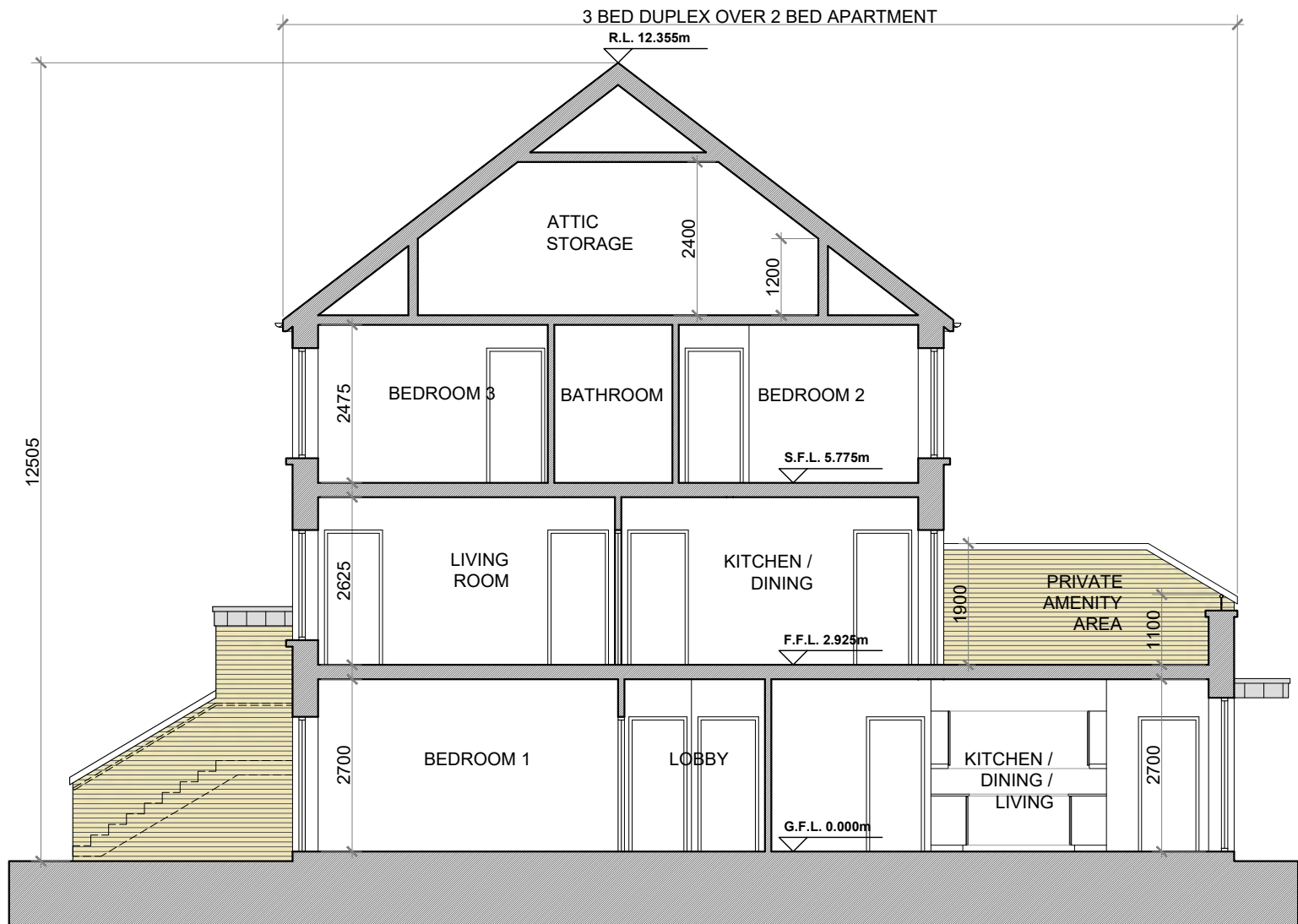
REAR ELEVATION @ 1:100  
DUPLEX BLOCK TYPE 1



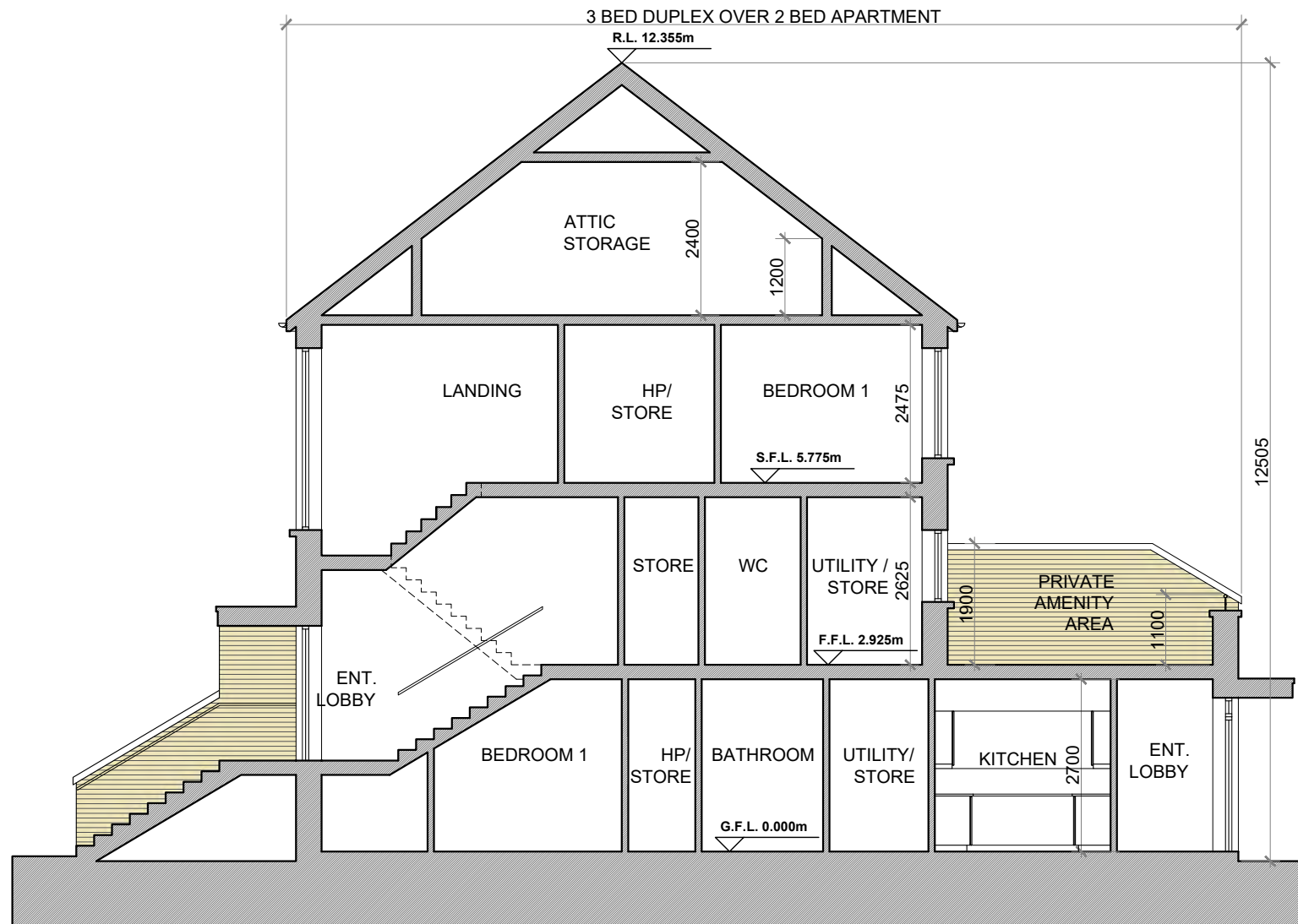
SIDE (DUAL FRONTAGE) ELEVATION @ 1:100  
DUPLEX BLOCK TYPE 1



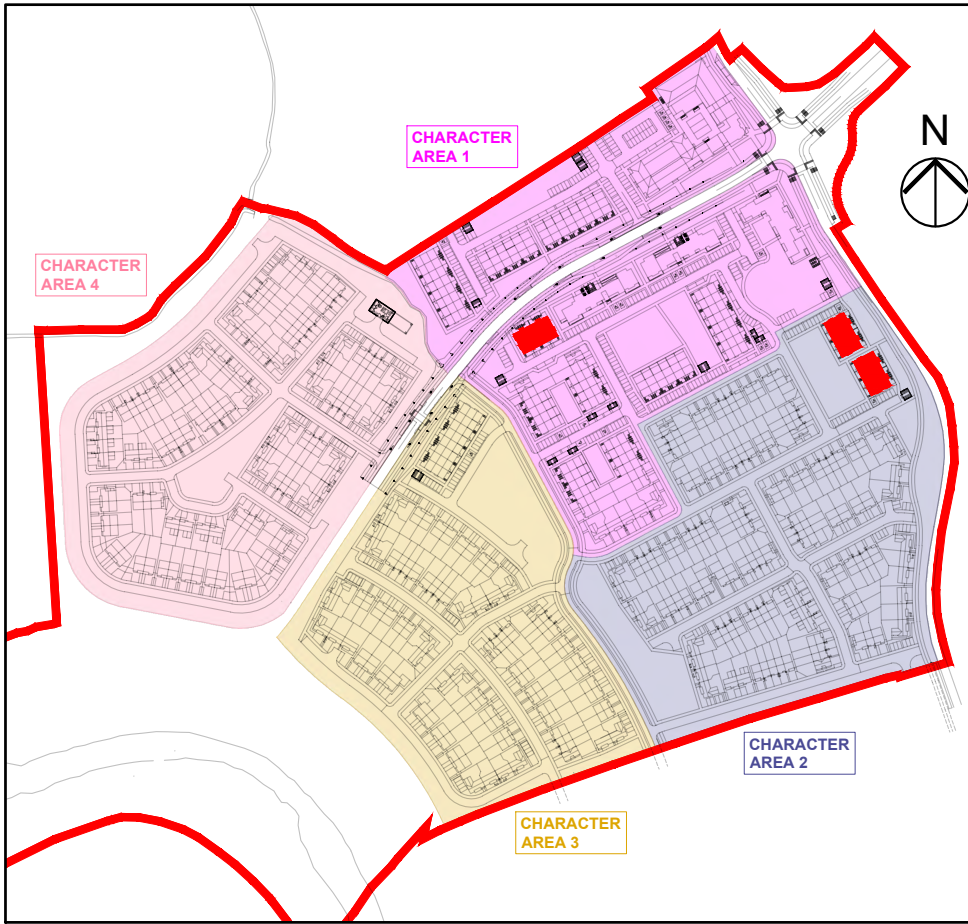
SIDE (DUAL FRONTAGE) ELEVATION @ 1:100  
DUPLEX BLOCK TYPE 1



SECTION A-A @ 1:100  
DUPLEX BLOCK TYPE 1



SECTION B-B @ 1:100  
DUPLEX BLOCK TYPE 1



KEY PLAN

DUPLEX BLOCK TYPE 1—CHARACTER AREAS 1 & 2

NOTES:

DO NOT SCALE. USE ONLY FIGURED DIMENSIONS WHICH SHOULD BE CHECKED ON SITE BEFORE WORK COMMENCES.

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OFA

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PROJECT: PROPOSED GREAT CONNELL SHD AT NEWBRIDGE, CO. KILDARE.

TITLE: PROPOSED ELEVATIONS AND SECTIONS OF DUPLEX BLOCK TYPE 1—CHARACTER AREAS 1 & 2.

CLIENT: ASTON LTD.

STAGE: PLANNING

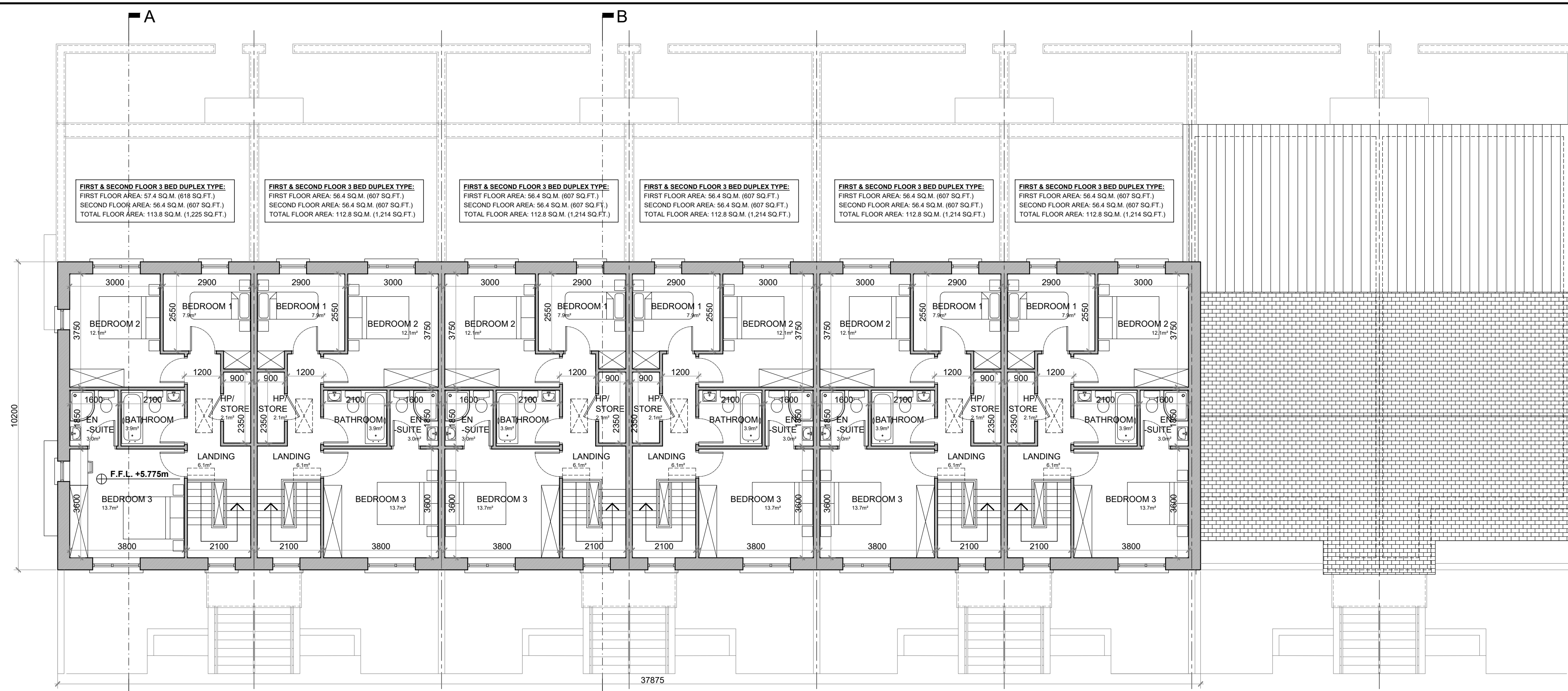
PROJECT NO.: 19070

DRG. NO.: PA-101 (SHEET 2 OF 2)

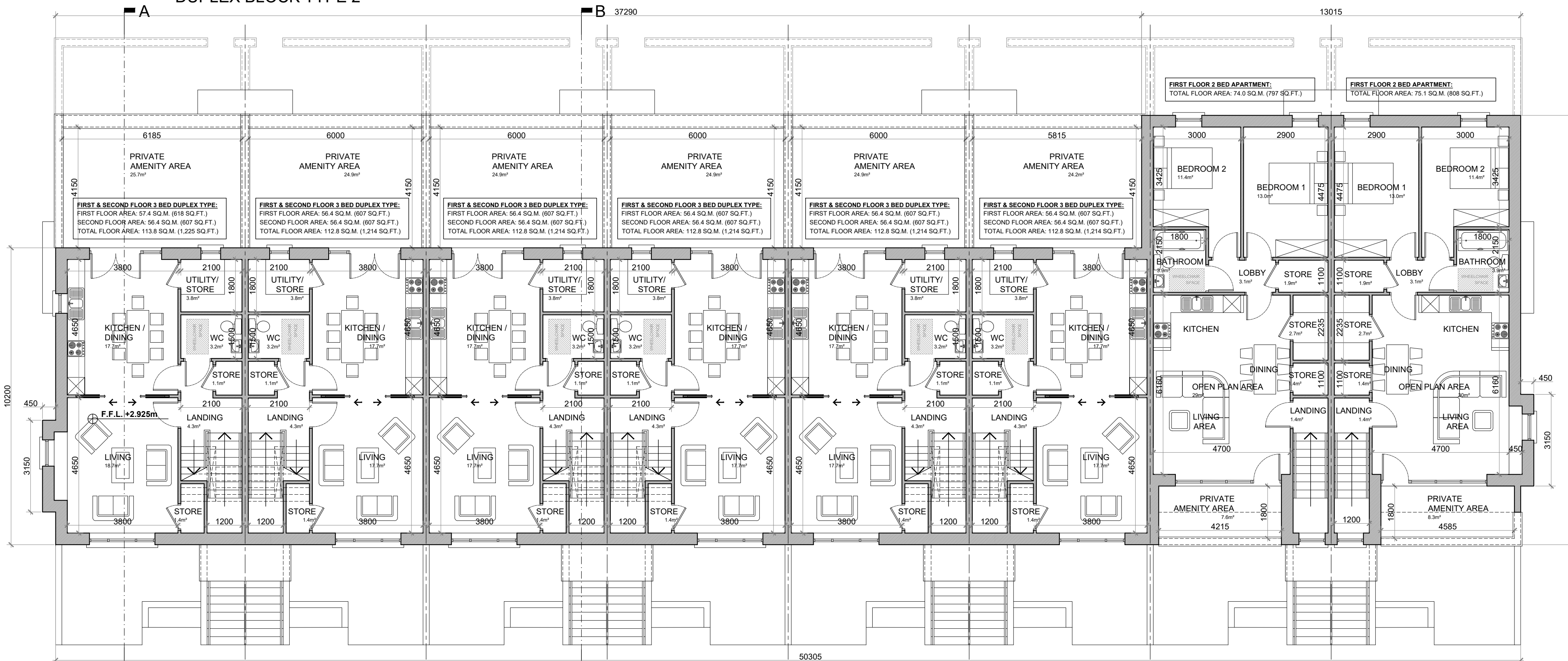
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DATE: MARCH 2022

DRAWN: POF  
CHECKED: POF

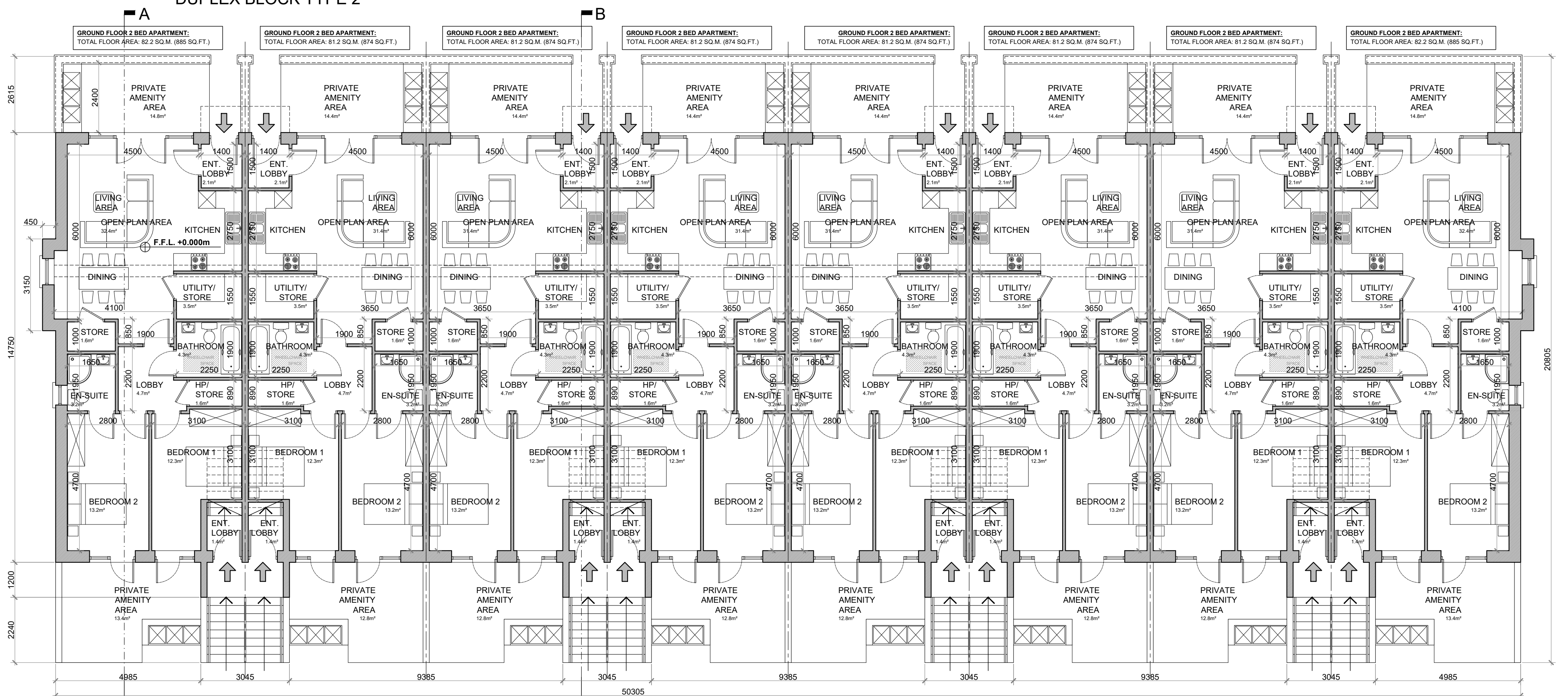




**SECOND FLOOR PLAN @ 1:100**  
3 BED DUPLEX TYPES  
DUPLEX BLOCK TYPE 2



**FIRST FLOOR PLAN @ 1:100**  
3 BED DUPLEX TYPES & 2 BED APARTMENT TYPES  
DUPLEX BLOCK TYPE 2



**GROUND FLOOR PLAN @ 1:100**  
2 BED APARTMENT TYPES  
DUPLEX BLOCK TYPE 2

#### APARTMENT TYPE:

##### GROUND FLOOR 2 BED APARTMENT—4 PERSON

###### FLOOR AREA / ROOM WIDTH REQUIREMENTS:

AREAS:	PROVIDED:	MIN. REQUIRED:
BEDROOM 1 (MAIN)	12.3 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 2 (MAIN)	13.2 M <sup>2</sup>	13 M <sup>2</sup>
AGGREGATE LIVING	31.4 / 32.4 M <sup>2</sup>	30 M <sup>2</sup>
AGGREGATE BEDROOM	28.3 M <sup>2</sup>	24.4 M <sup>2</sup>
GROSS STORAGE	6.7 M <sup>2</sup>	6 M <sup>2</sup>
PRIVATE AMENITY SPACE	27.2 / 28.2 M <sup>2</sup>	7 M <sup>2</sup>
COMMUNAL AMENITY SPACE	7 M <sup>2</sup>	7 M <sup>2</sup>
GROSS FLOOR SPACE	81.2 / 82.2 M <sup>2</sup>	73 M <sup>2</sup>

WIDTHS:	PROVIDED:	MIN. REQUIRED:
LIVING / DINING ROOM	4.7 M	3.8 M
BEDROOM 1 (DOUBLE)	3.1 M	2.8 M
BEDROOM 2 (DOUBLE)	3 M	2.8 M

\*FIGURES TAKEN FROM SUSTAINABLE URBAN HOUSING: DESIGN STANDARDS FOR NEW APARTMENTS PUBLISHED BY THE DUECLG

#### APARTMENT TYPE:

##### FIRST FLOOR 2 BED APARTMENT—4 PERSON

###### FLOOR AREA / ROOM WIDTH REQUIREMENTS:

AREAS:	PROVIDED:	MIN. REQUIRED:
BEDROOM 1 (MAIN)	13 M <sup>2</sup>	13 M <sup>2</sup>
BEDROOM 2	11.4 M <sup>2</sup>	11.4 M <sup>2</sup>
AGGREGATE LIVING	29 / 30 M <sup>2</sup> (+9% VARIATION)	30 M <sup>2</sup>
AGGREGATE BEDROOM	24.4 M <sup>2</sup>	24.4 M <sup>2</sup>
GROSS STORAGE	6 M <sup>2</sup>	6 M <sup>2</sup>
PRIVATE AMENITY SPACE	7.8 / 8.3 M <sup>2</sup>	7 M <sup>2</sup>
COMMUNAL AMENITY SPACE	7 M <sup>2</sup>	7 M <sup>2</sup>
GROSS FLOOR SPACE	74 / 75.1 M <sup>2</sup>	73 M <sup>2</sup>

WIDTHS:	PROVIDED:	MIN. REQUIRED:
LIVING / DINING ROOM	4.7 M	3.8 M
BEDROOM 1 (DOUBLE)	2.9 M	2.8 M
BEDROOM 2 (DOUBLE)	3 M	2.8 M

\*FIGURES TAKEN FROM SUSTAINABLE URBAN HOUSING: DESIGN STANDARDS FOR NEW APARTMENTS PUBLISHED BY THE DUECLG

#### APARTMENT TYPE:

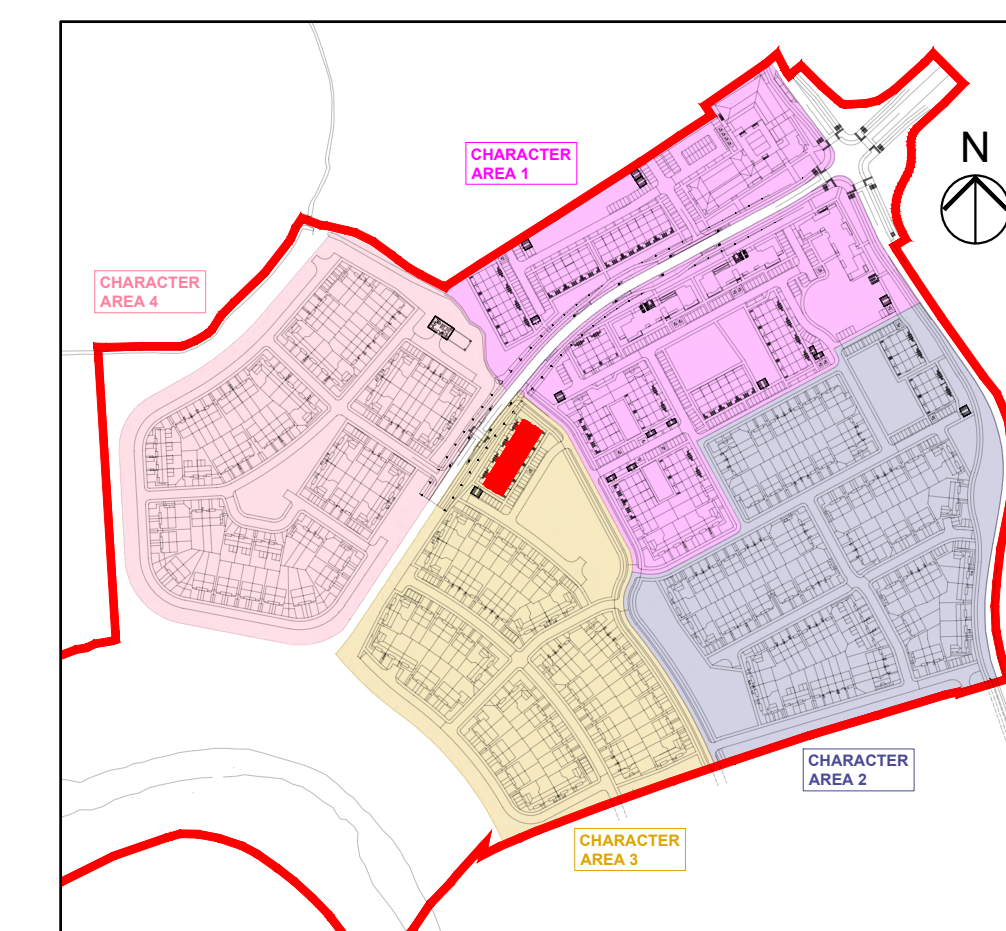
##### 3 BED DUPLEX APARTMENT—5 PERSON

###### FLOOR AREA / ROOM WIDTH REQUIREMENTS:

AREAS:	PROVIDED:	MIN. REQUIRED:
BEDROOM 1	7.9 M <sup>2</sup>	7.1 M <sup>2</sup>
BEDROOM 2	12.1 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 3 (MAIN)	13.7 M <sup>2</sup>	13 M <sup>2</sup>
AGGREGATE LIVING	35.4 / 36.4 M <sup>2</sup>	34 M <sup>2</sup>
AGGREGATE BEDROOM	33.7 M <sup>2</sup>	31.5 M <sup>2</sup>
GROSS STORAGE	11.5 M <sup>2</sup> (INCL. ATTIC)	9 M <sup>2</sup> (ICC 9M <sup>2</sup> )
PRIVATE AMENITY SPACE	24.2 / 24.9 / 25.7 M <sup>2</sup>	9 M <sup>2</sup>
COMMUNAL AMENITY SPACE	9.9 M <sup>2</sup>	9 M <sup>2</sup>
GROSS FLOOR SPACE	112.8 / 113.8 M <sup>2</sup>	90 M <sup>2</sup>

WIDTHS:	PROVIDED:	MIN. REQUIRED:
LIVING / DINING ROOM	3.8 M	3.8 M
BEDROOM 1 (SINGLE)	2.55 M	2.1 M
BEDROOM 2 (DOUBLE)	3 M	2.8 M
BEDROOM 3 (DOUBLE)	3.6 M	2.8 M

\*FIGURES TAKEN FROM SUSTAINABLE URBAN HOUSING: DESIGN STANDARDS FOR NEW APARTMENTS PUBLISHED BY THE DUECLG



KEY PLAN

## DUPLEX BLOCK TYPE 2—CHARACTER AREA 3

#### NOTES:

DO NOT SCALE. USE ONLY FIGURED DIMENSIONS WHICH SHOULD BE CHECKED ON SITE BEFORE WORK COMMENCES.  
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#### LEGEND:

REFER TO THE SITE LAYOUT DRAWING FOR THE ORIENTATION AND FLOOR LEVELS FOR EACH DWELLING.

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RIA  
2021

PROJECT: PROPOSED GREAT CONNELL SHD AT NEWBRIDGE, CO. KILDARE

TITLE: PROPOSED GROUND, FIRST & SECOND FLOOR PLANS OF DUPLEX BLOCK TYPE 2—CHARACTER AREA 3

CLIENT: ASTON LTD. STAGE: PLANNING

PROJECT NO.: 19070 DRG. NO.: PA-102 (SHEET 1 OF 2)

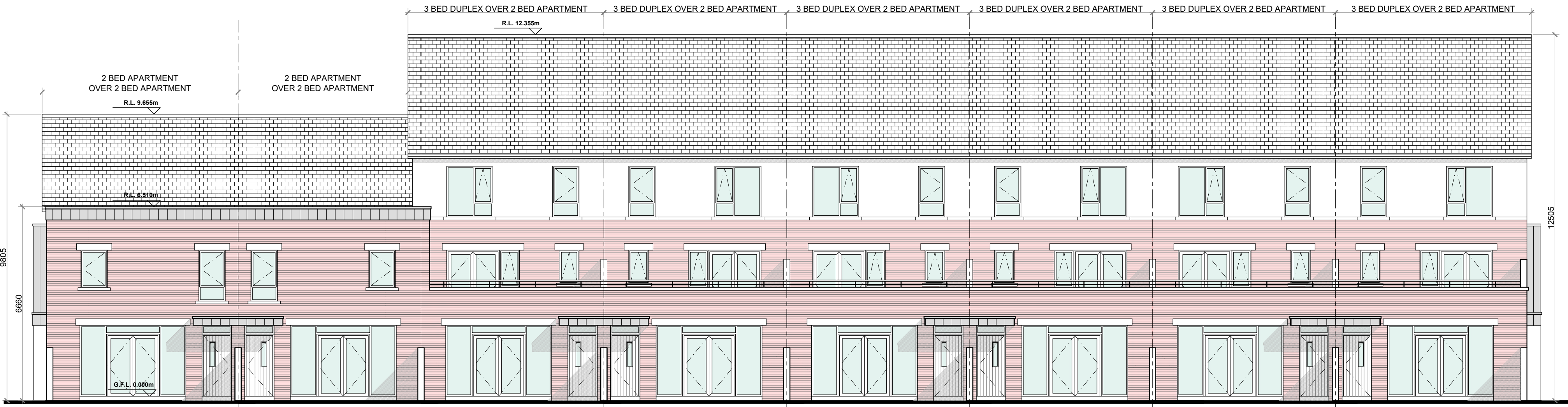
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DATE: MARCH 2022

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CHECKED: POF





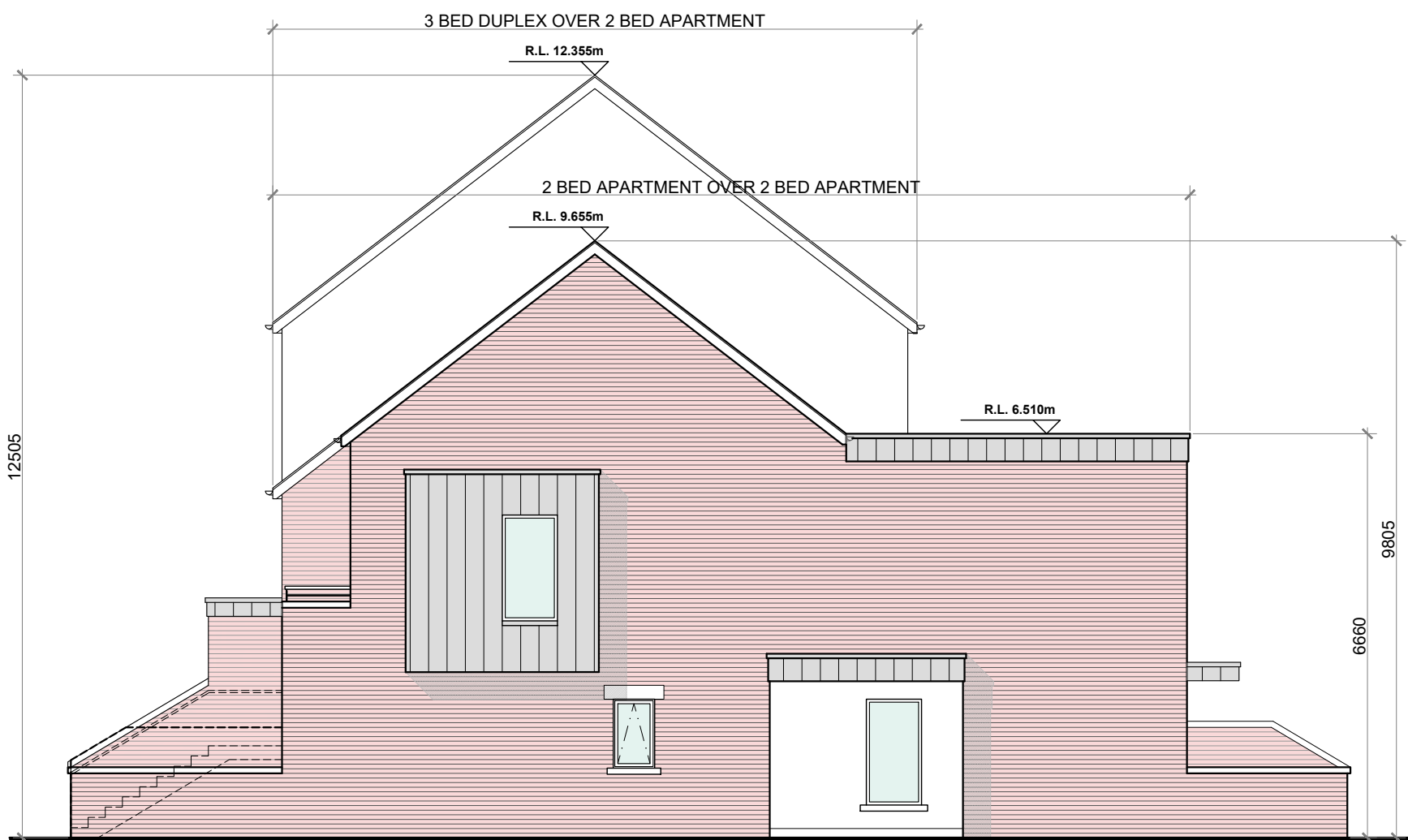
FRONT ELEVATION @ 1:100  
DUPLEX BLOCK TYPE 2



REAR ELEVATION @ 1:100  
DUPLEX BLOCK TYPE 2

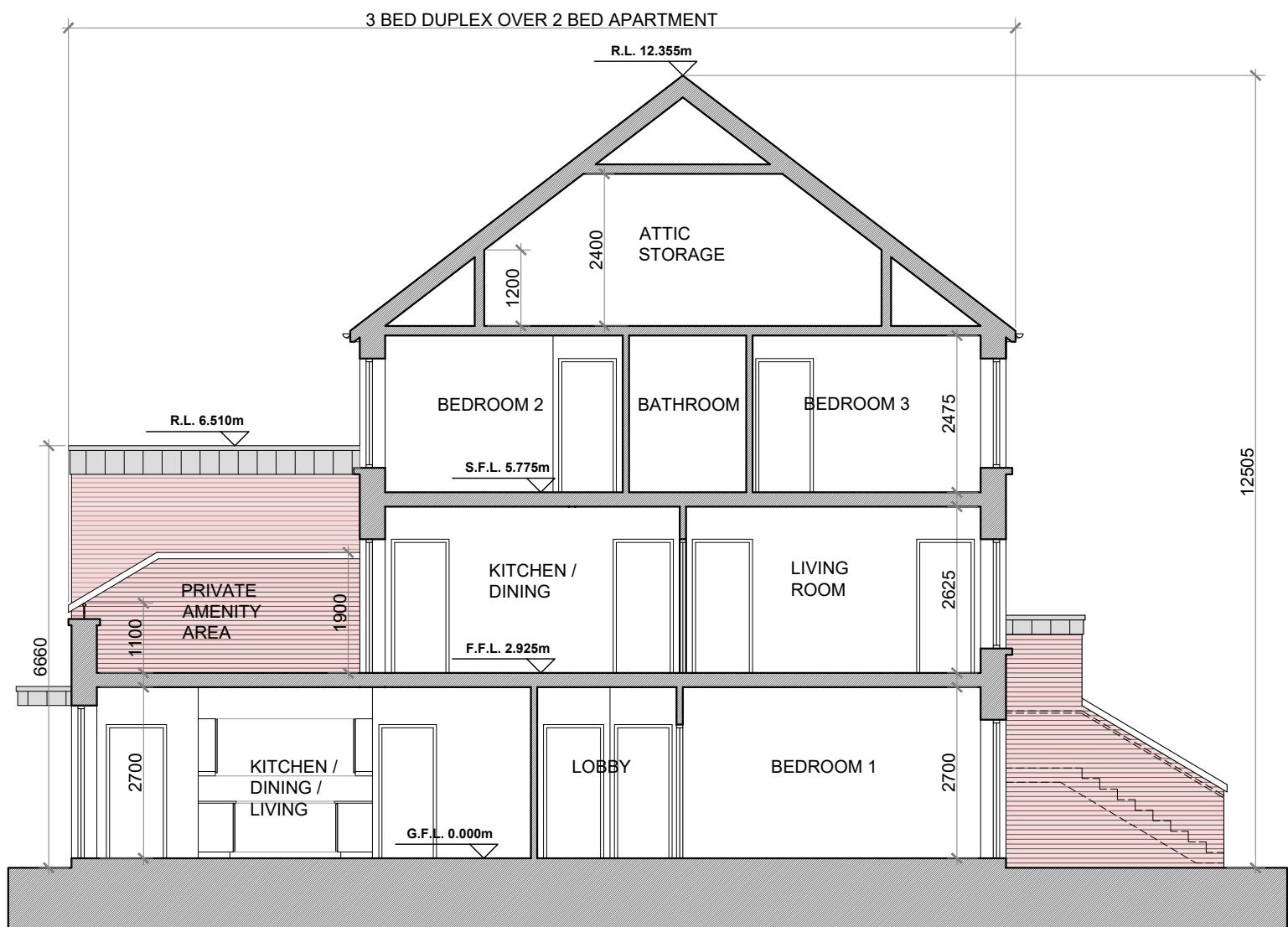


SIDE (DUAL FRONTAGE) ELEVATION @ 1:100  
DUPLEX BLOCK TYPE 2

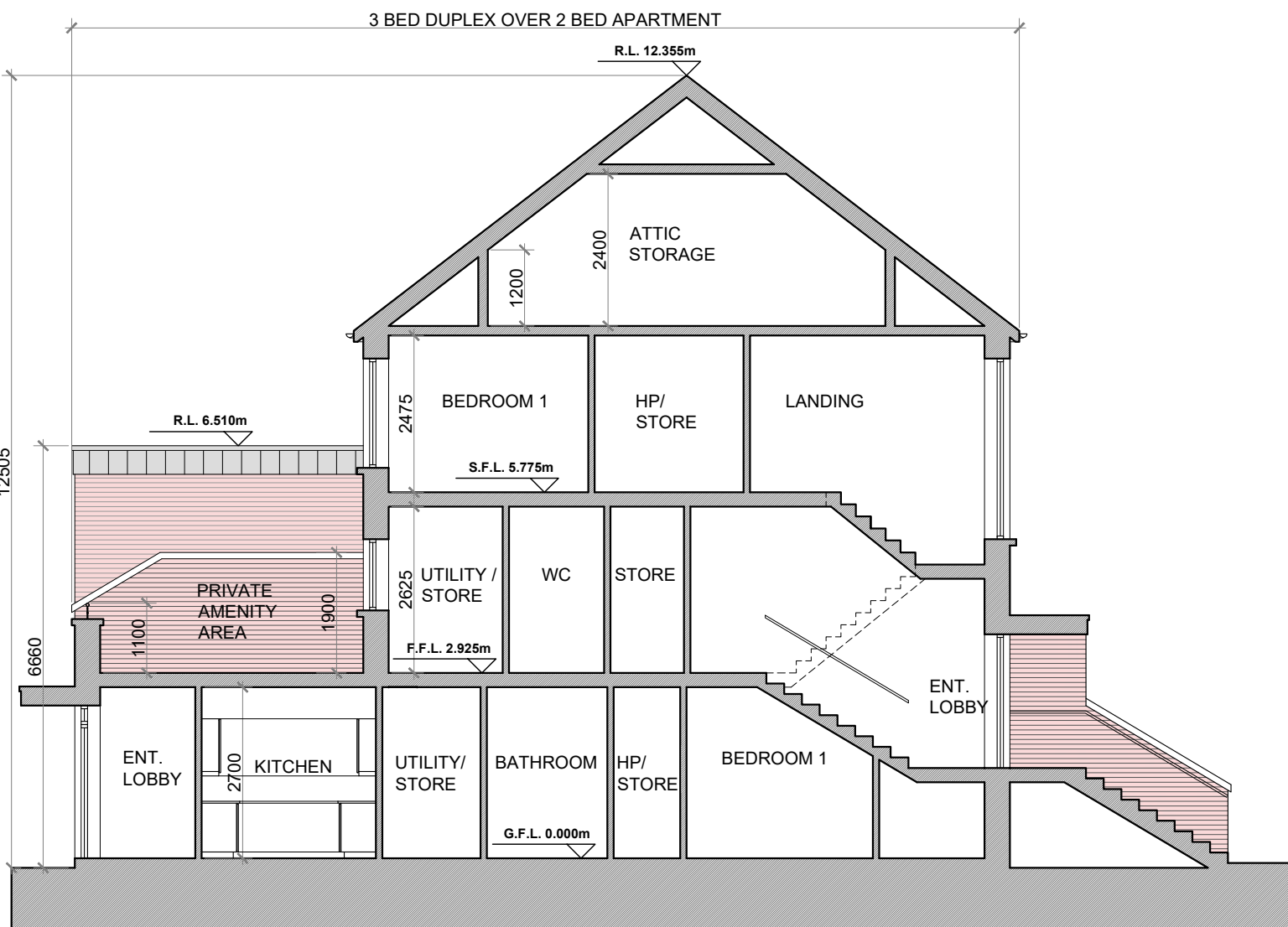


SIDE (DUAL FRONTAGE) ELEVATION @ 1:100  
DUPLEX BLOCK TYPE 2

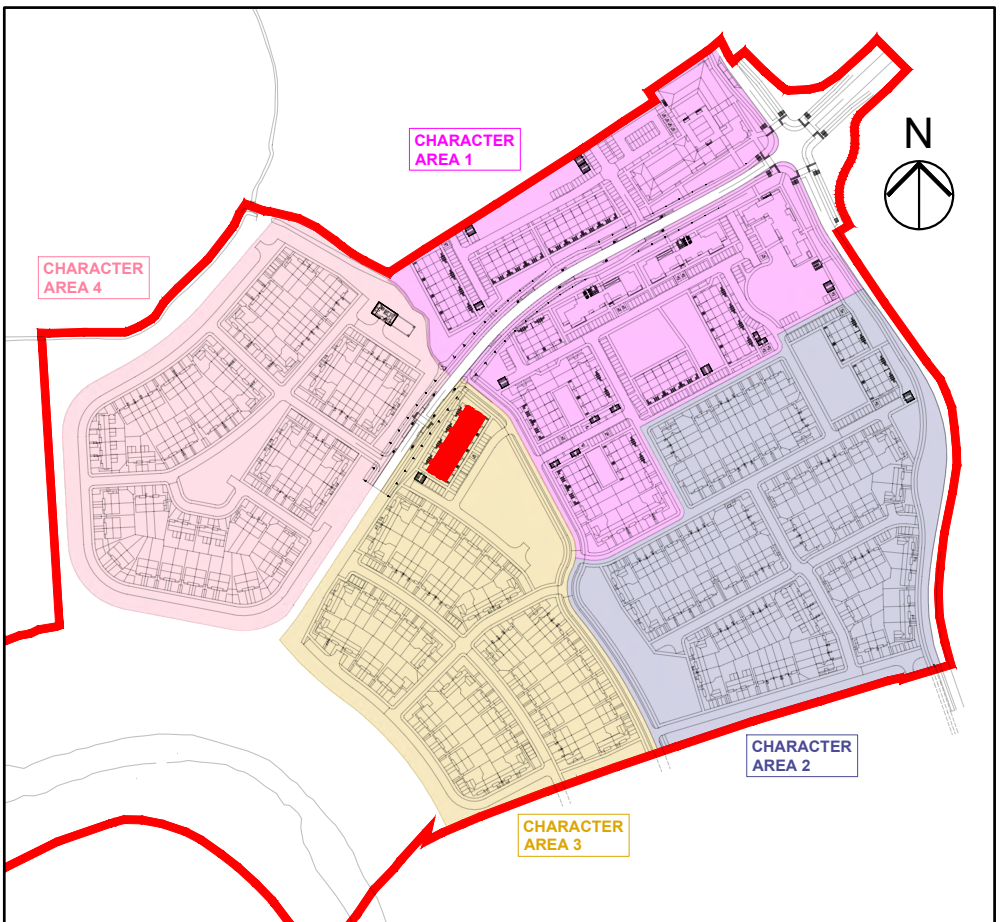
- PROPOSED FINISHES:**
- SLATE / TILED FINISH TO ROOF WITH STANDING SEAM ZINC CLAD FINISH (OR SIMILAR APPROVED) TO FLAT ROOF AREAS & ENTRANCE CANOPIES AS INDICATED.
  - UPVC / ALUMINIUM FINISH TO FASCIA, GUTTERS AND DOWNPIPES.
  - SELECTED BRICK FINISH TO WALLS AS INDICATED.
  - PLASTER / RENDER FINISH TO WALLS AS INDICATED.
  - STANDING SEAM ZINC CLAD FINISH (OR SIMILAR APPROVED) TO WALLS AS INDICATED.
  - UPVC / ALUMINIUM / TIMBER FINISH TO WINDOWS AND DOORS.
  - PAINTED CONCRETE / STONE SILLS AND CAPPINGS.
  - PLASTER / RENDER FINISH TO PLINTH.



SECTION A-A @ 1:100  
DUPLEX BLOCK TYPE 2



SECTION B-B @ 1:100  
DUPLEX BLOCK TYPE 2



KEY PLAN

DUPLEX BLOCK TYPE 2—CHARACTER AREA 3

**NOTES:**

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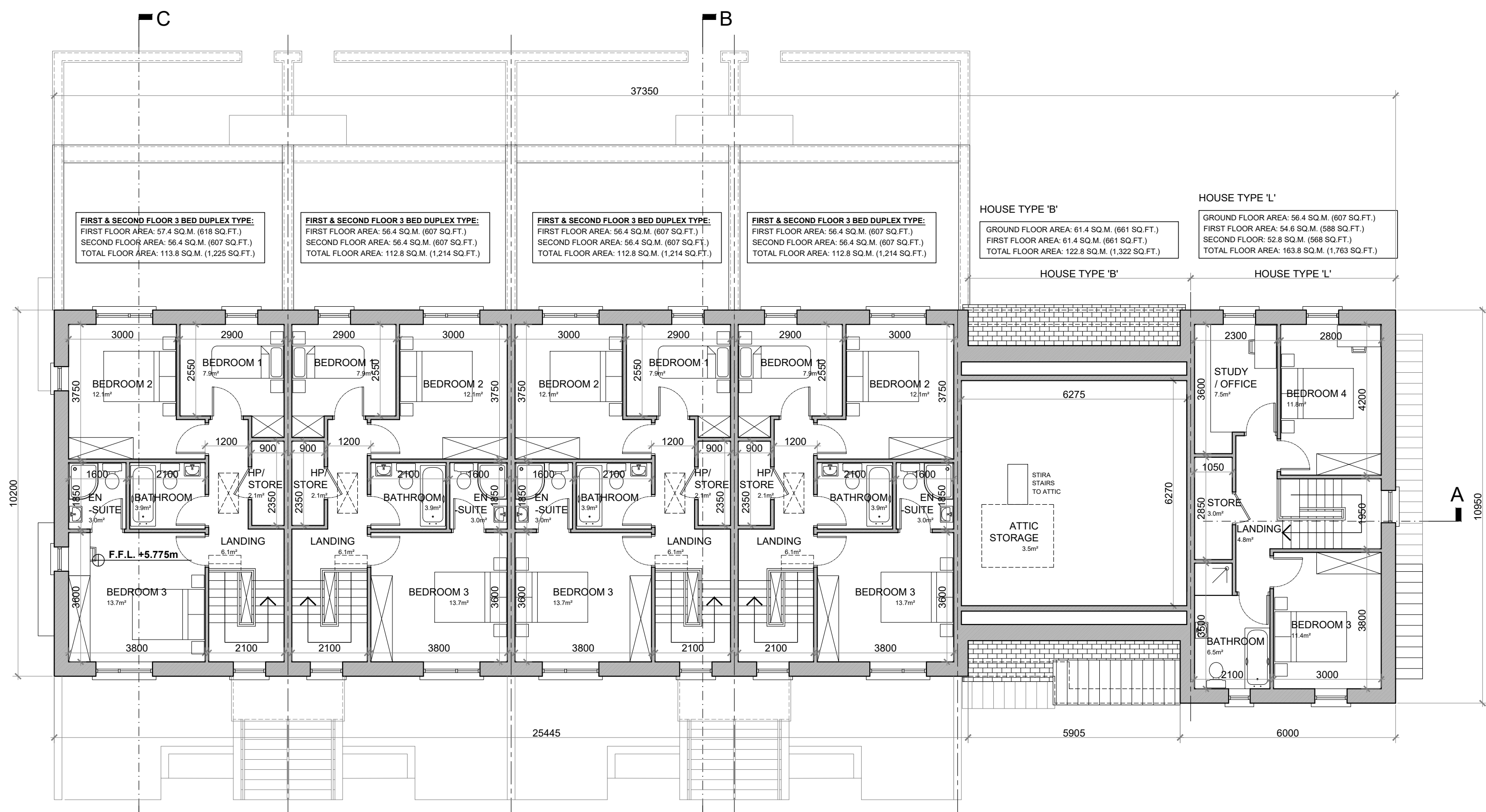
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CO KILDARE.  
TEL: 045 433400  
EMAIL: info@oflynnarchitects.ie  
WEB: www.oflynnarchitect.ie

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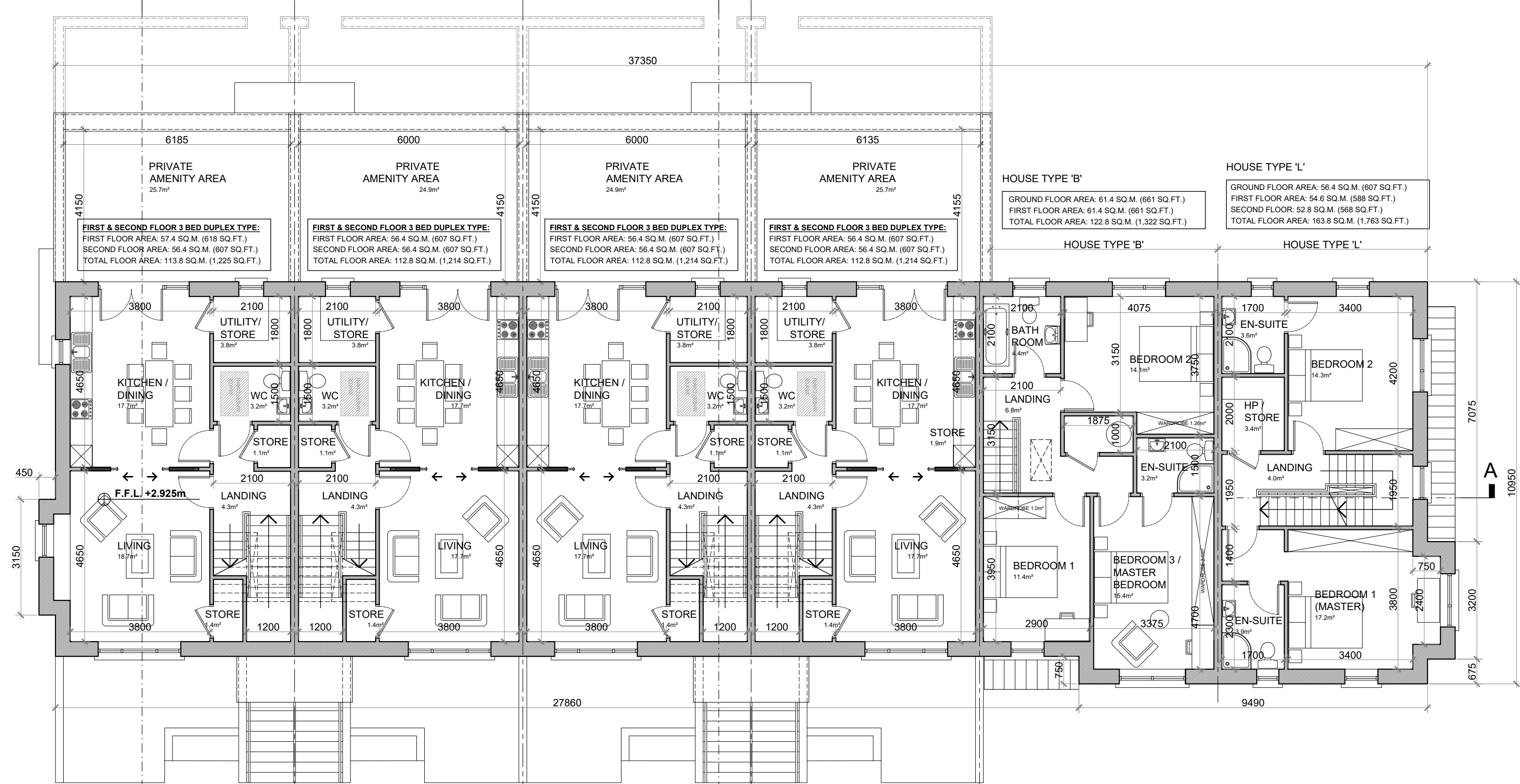
Project Number  
**2021**

PROJECT:	PROPOSED GREAT CONNELL SHD AT NEWBRIDGE, CO. KILDARE.		
TITLE:	PROPOSED ELEVATIONS & SECTIONS OF DUPLEX BLOCK TYPE 2—CHARACTER AREA 3.		
CLIENT:	ASTON LTD.	STAGE:	PROPOSAL
PROJECT NO.:	19070	DRG. NO.:	PR-103 (SHEET 2 OF 2)
SCALE:	1:100	DRAWN:	POF
DATE:	MARCH 2022	CHECKED:	POF

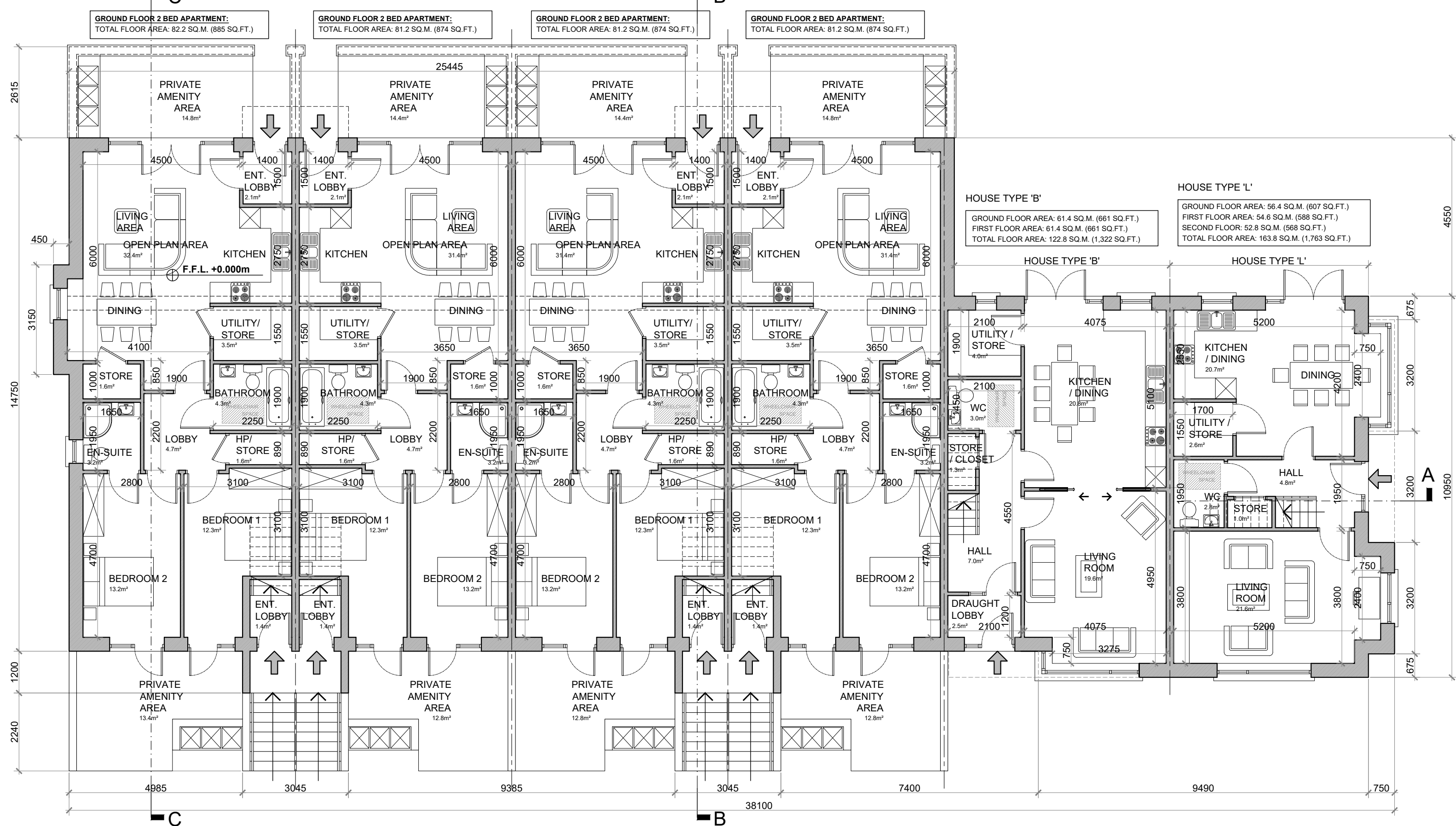




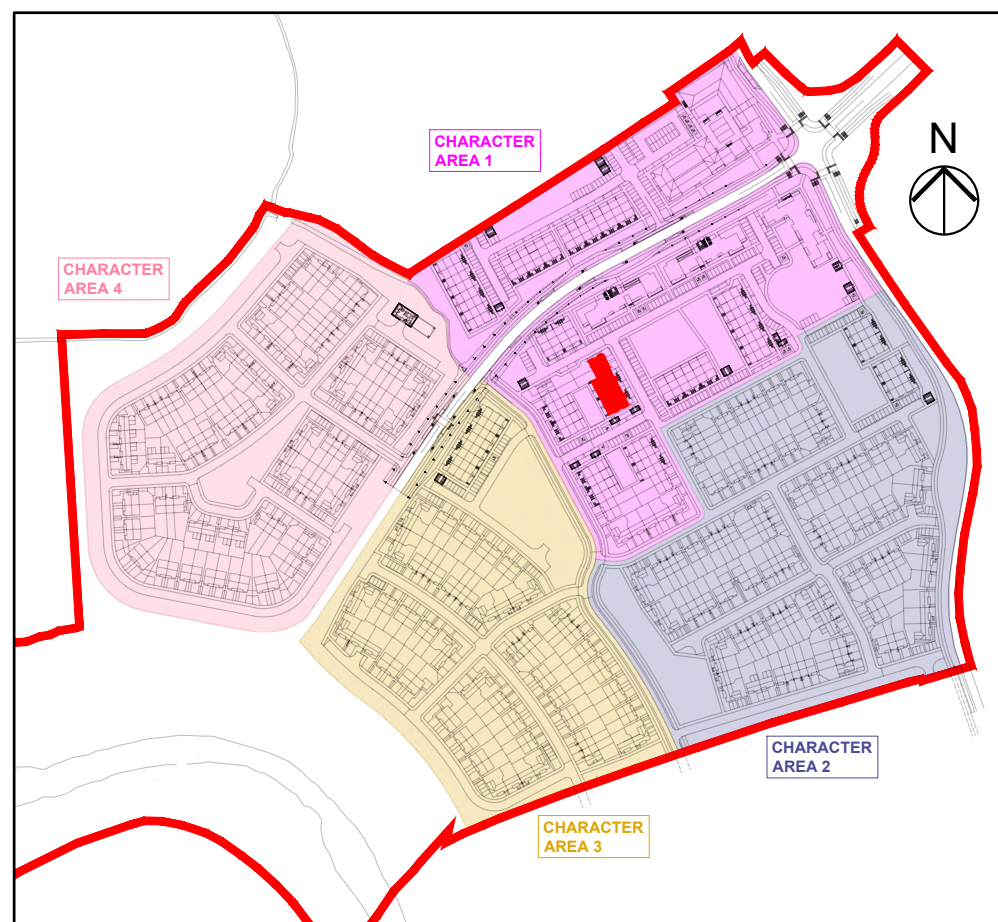
SECOND FLOOR PLAN @ 1:100  
DUPLEX BLOCK TYPE 3B



FIRST FLOOR PLAN @ 1:100  
DUPLEX BLOCK TYPE 3B



GROUND FLOOR PLAN @ 1:100  
DUPLEX BLOCK TYPE 3B



KEY PLAN

DUPLEX BLOCK TYPE 3B—CHARACTER AREA 1

NOTES:

DO NOT SCALE. USE ONLY FIGURED DIMENSIONS WHICH SHOULD BE CHECKED ON SITE BEFORE WORK COMMENCES.

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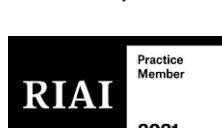
DATE:

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PROJECT: PROPOSED GREAT CONNELL SHD AT NEWBRIDGE, CO. KILDARE.

TITLE: PROPOSED GROUND, FIRST & SECOND FLOOR PLANS OF DUPLEX BLOCK TYPE 3B—CHARACTER AREA 1.

CLIENT: ASTON LTD.

STAGE: PLANNING

PROJECT NO.: 19070

DRG. NO.: PA-106 (SHEET 1 OF 2)

SCALE: 1:100

DATE: MARCH 2022

DRAWN: POF

CHECKED: POF



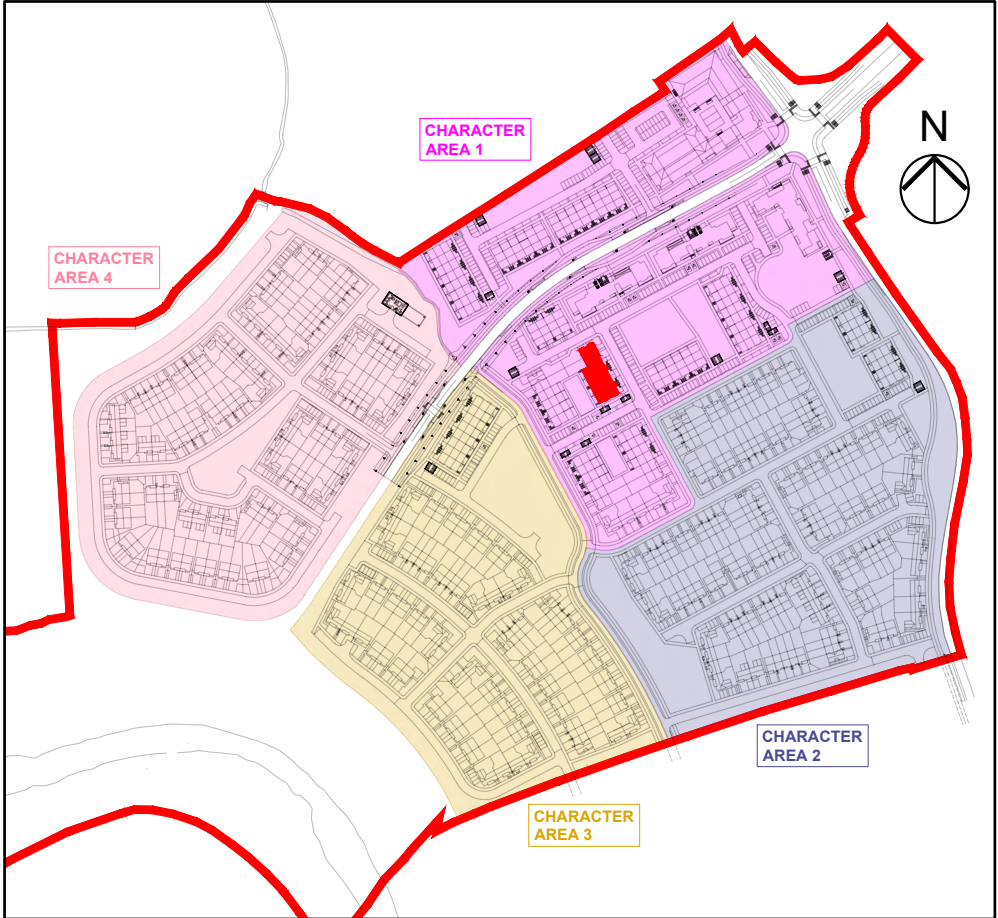


FRONT ELEVATION @ 1:100  
DUPLEX BLOCK TYPE 3B

- PROPOSED FINISHES:**
- SLATE / TILED FINISH TO ROOF WITH STANDING SEAM ZINC CLAD FINISH (OR SIMILAR APPROVED) TO FLAT ROOF AREAS & ENTRANCE CANOPIES AS INDICATED.
  - UPVC / ALUMINIUM FINISH TO FASCIA, GUTTERS AND DOWNPIPES.
  - SELECTED BRICK FINISH TO WALLS AS INDICATED.
  - PLASTER / RENDER FINISH TO WALLS AS INDICATED.
  - STANDING SEAM ZINC CLAD FINISH (OR SIMILAR APPROVED) TO WALLS AS INDICATED.
  - UPVC / ALUMINIUM / TIMBER FINISH TO WINDOWS AND DOORS.
  - PAINTED CONCRETE / STONE SILLS AND CAPPINGS.
  - PLASTER / RENDER FINISH TO PLINTH.



REAR ELEVATION @ 1:100  
DUPLEX BLOCK TYPE 3B



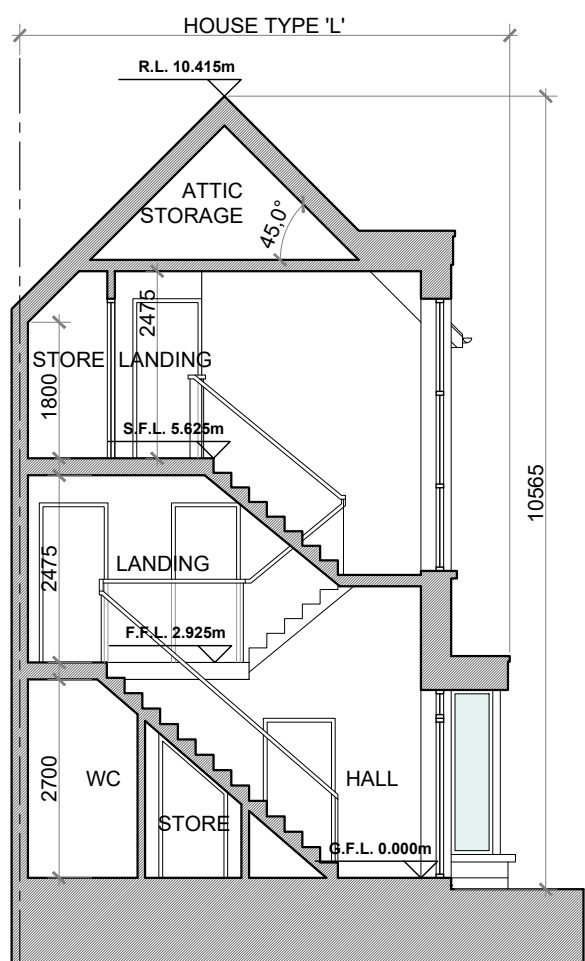
KEY PLAN



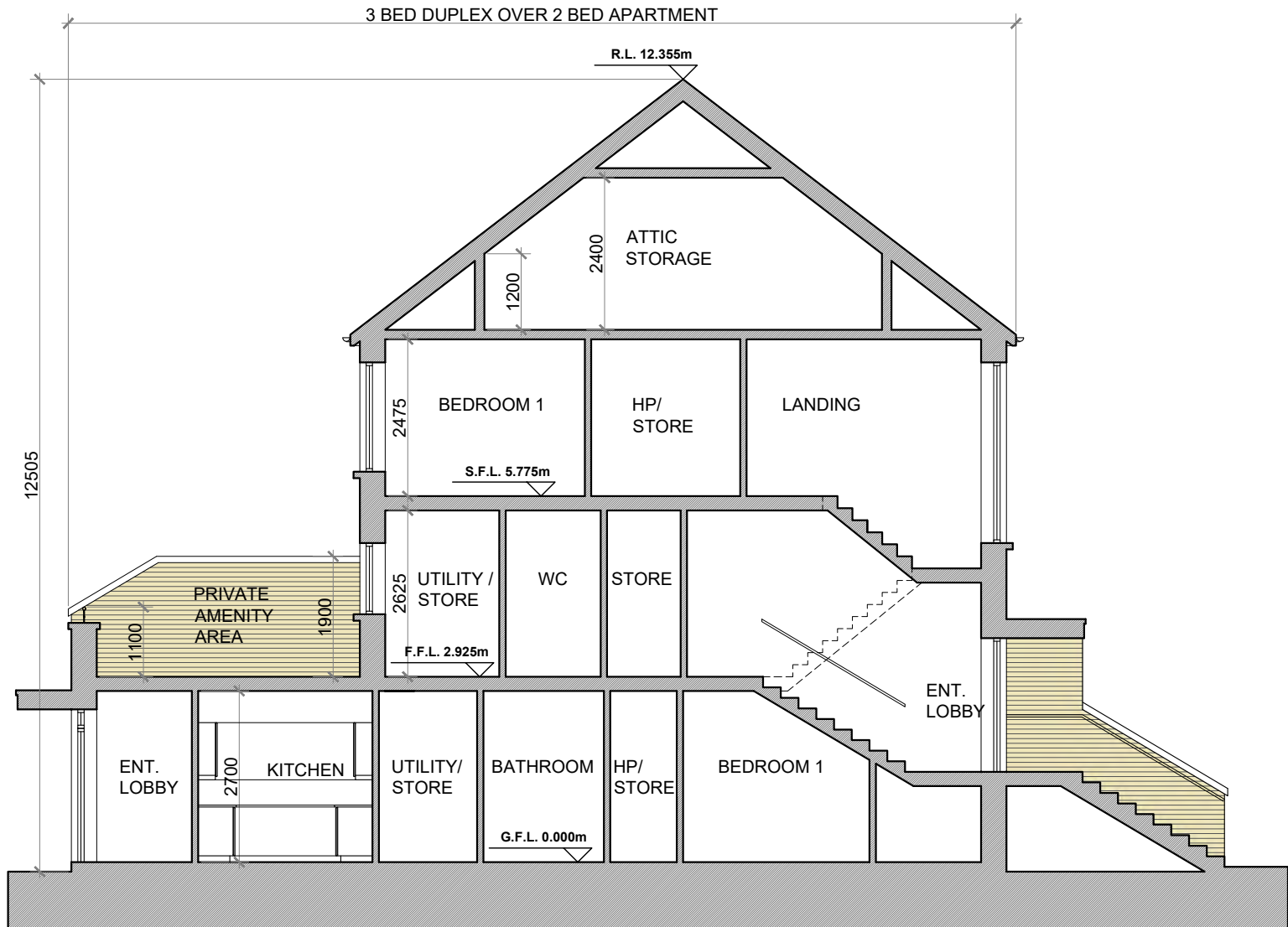
SIDE (DUAL FRONTAGE) ELEVATION @ 1:100  
DUPLEX BLOCK TYPE 3B



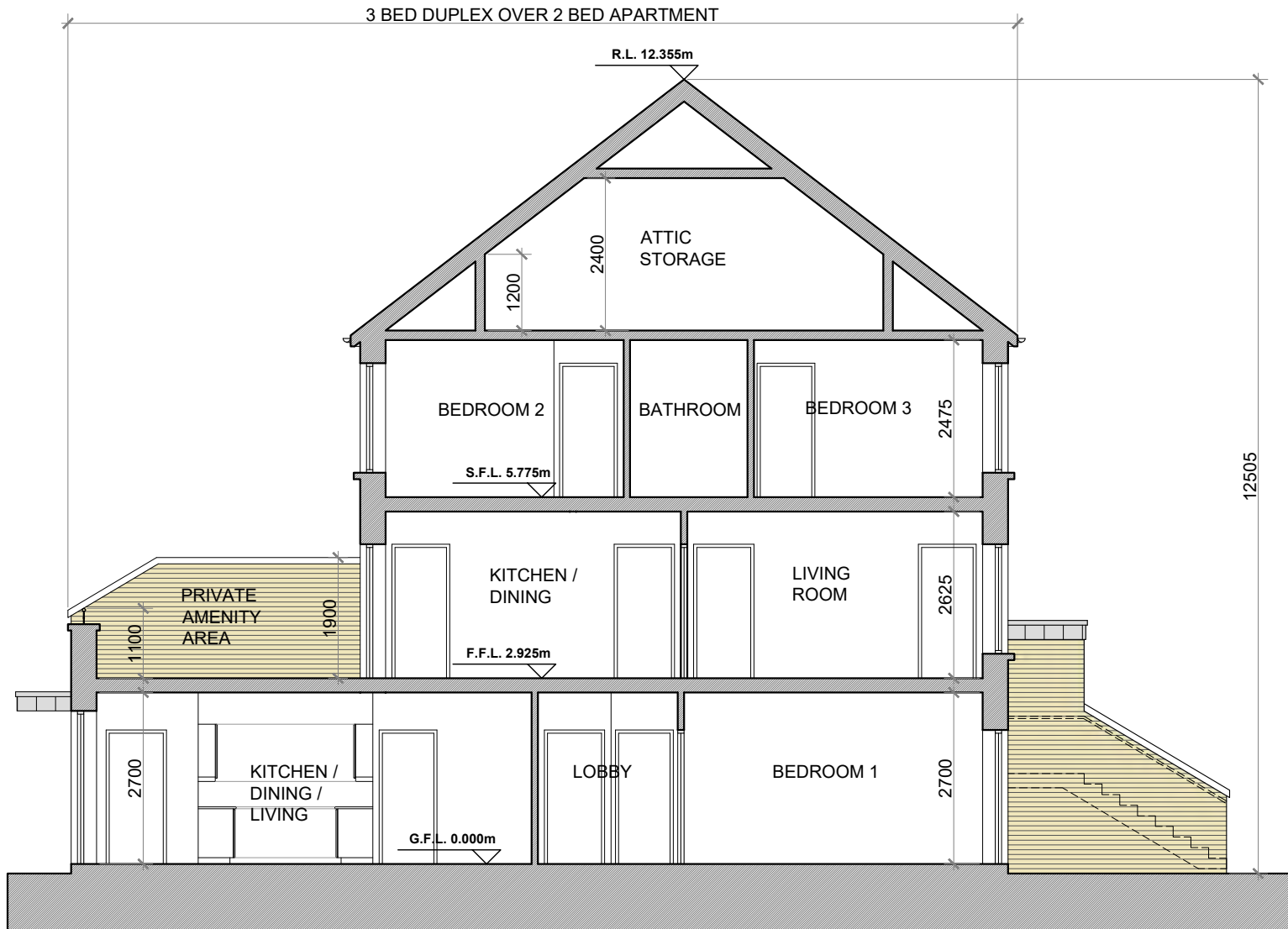
SIDE (DUAL FRONTAGE) ELEVATION @ 1:100  
DUPLEX BLOCK TYPE 3B



SECTION A-A @ 1:100  
DUPLEX BLOCK TYPE 3B



SECTION B-B @ 1:100  
DUPLEX BLOCK TYPE 3B



SECTION C-C @ 1:100  
DUPLEX BLOCK TYPE 3B

DUPLEX BLOCK TYPE 3B—CHARACTER AREA 1

**NOTES:**

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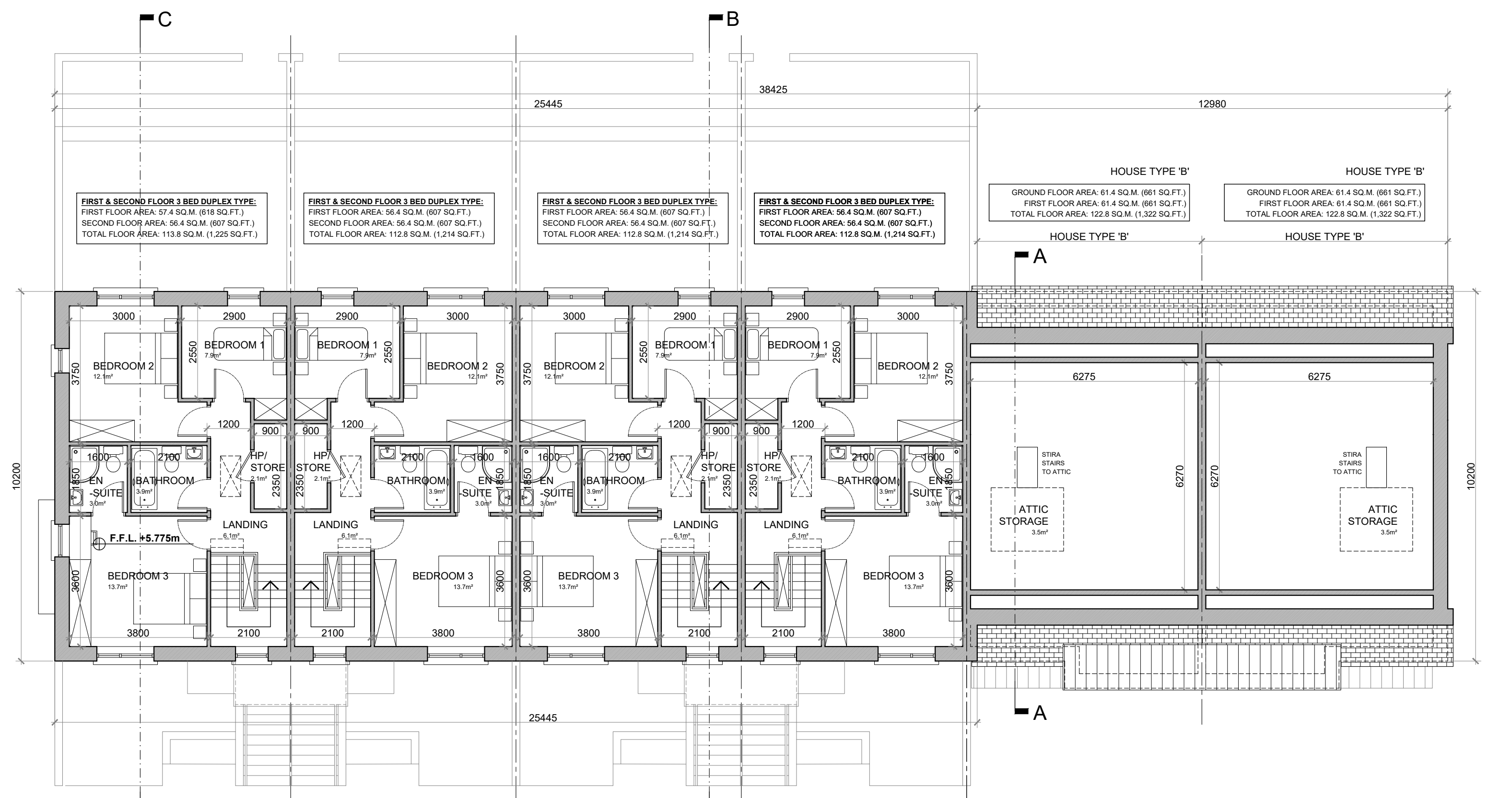
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CO KILDARE.  
TEL: 045 433460  
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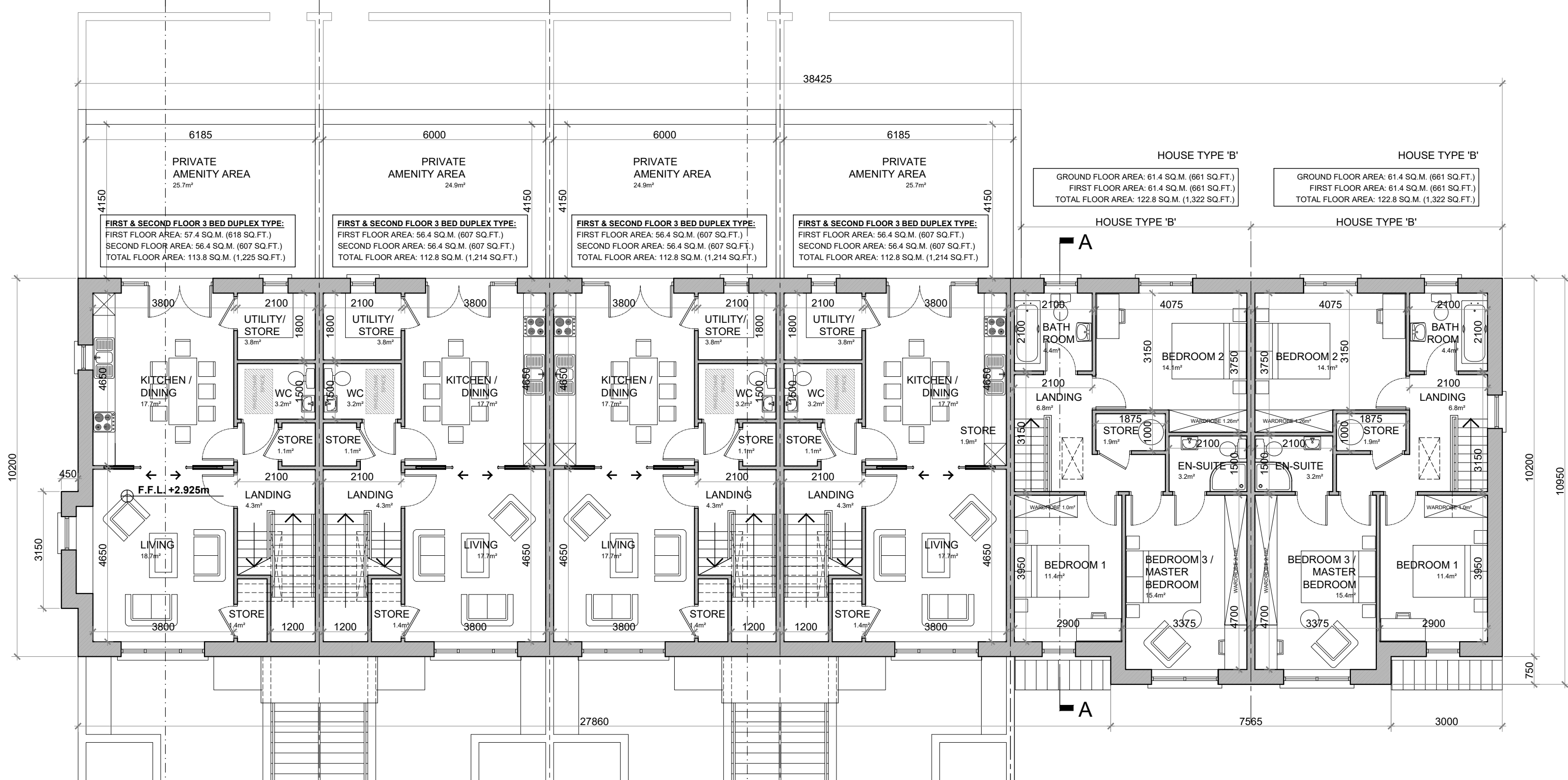
Member  
2021

PROJECT: PROPOSED GREAT CONNELL SHD AT NEWBRIDGE, CO. KILDARE.	
TITLE: PROPOSED ELEVATIONS AND SECTIONS OF DUPLEX BLOCK TYPE 3B—CHARACTER AREA 1.	
CLIENT: ASTON LTD.	STAGE: PLANNING
PROJECT NO.: 19070	DRG. NO.: PA-107 (SHEET 2 OF 2)
SCALE: 1:100	DRAWN: POF
DATE: MARCH 2022	CHECKED: POF

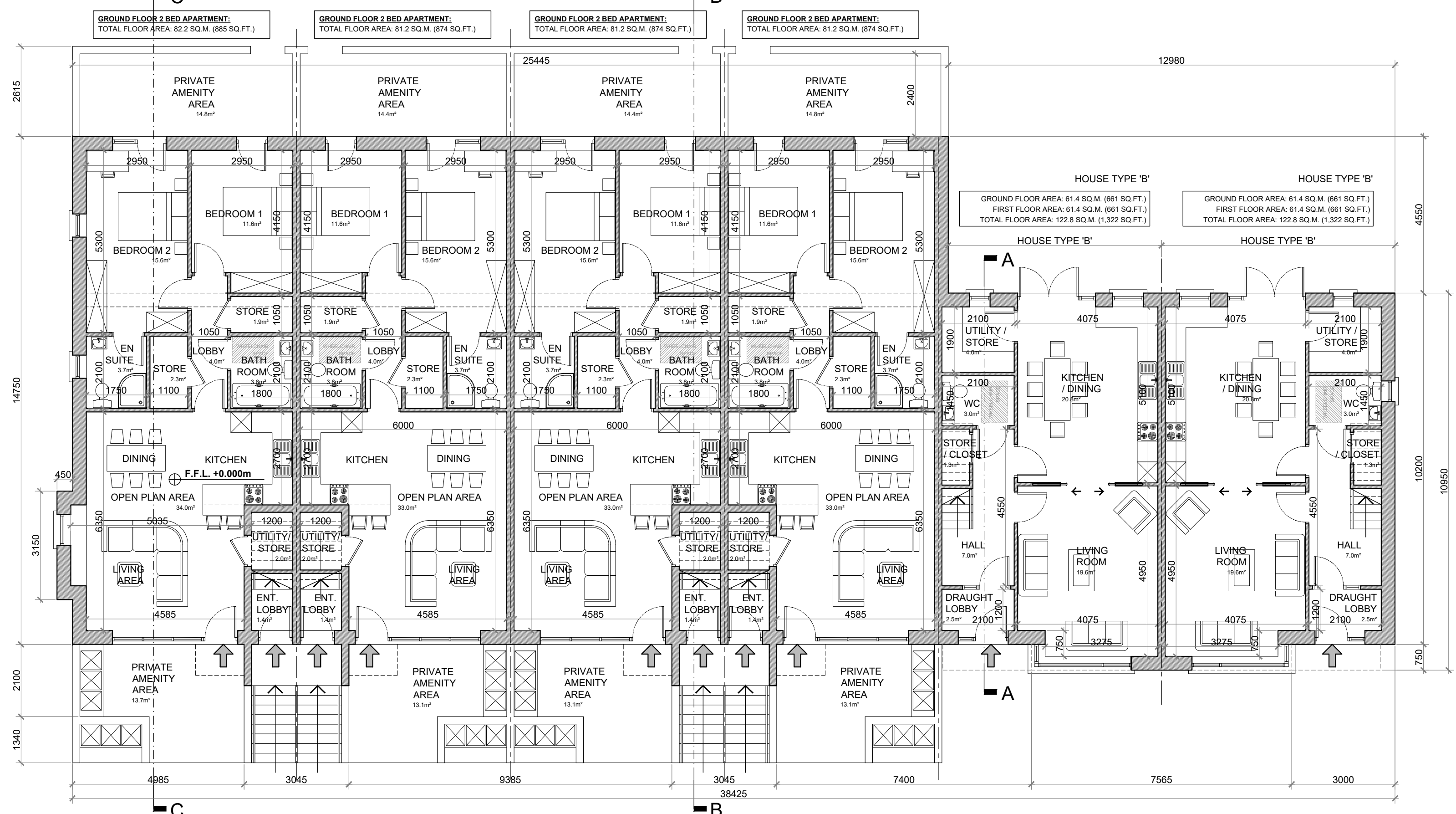




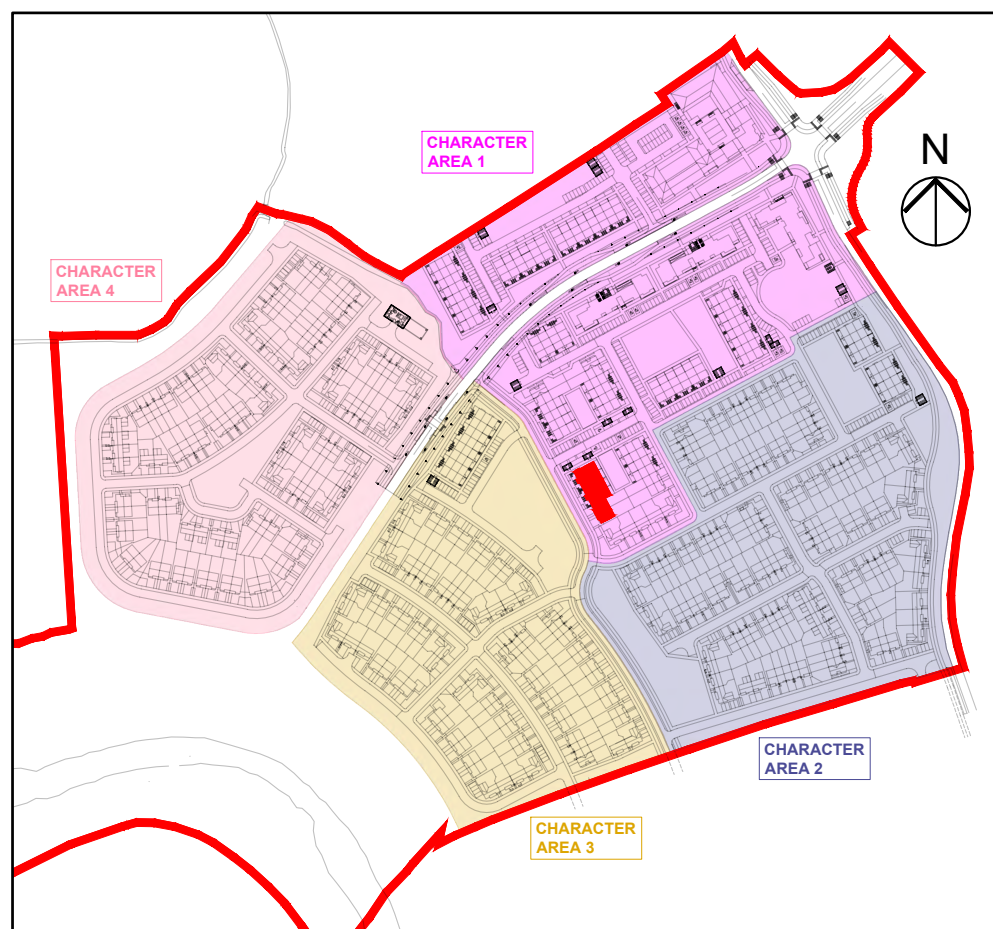
—C SECOND FLOOR PLAN @ 1:100  
 —C DUPLEX BLOCK TYPE 4A



—C FIRST FLOOR PLAN @ 1:100  
 —C DUPLEX BLOCK TYPE 4A



GROUND FLOOR PLAN @ 1:100  
 DUPLEX BLOCK TYPE 4A



KEY PLAN

DUPLEX BLOCK TYPE 4A—CHARACTER AREA 1

#### NOTES:

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**RIAI**  
 2021

PROJECT: PROPOSED GREAT CONNELL SHD AT NEWBRIDGE, CO. KILDARE.

TITLE: PROPOSED GROUND, FIRST & SECOND FLOOR PLANS OF DUPLEX BLOCK TYPE 4A—CHARACTER AREA 1.

CLIENT: ASTON LTD.

STAGE: PLANNING

PROJECT NO.: 19070

DRG. NO.: PA-108 (SHEET 1 OF 2)

SCALE: 1:100

DRAWN: POF

DATE: MARCH 2022

CHECKED: POF

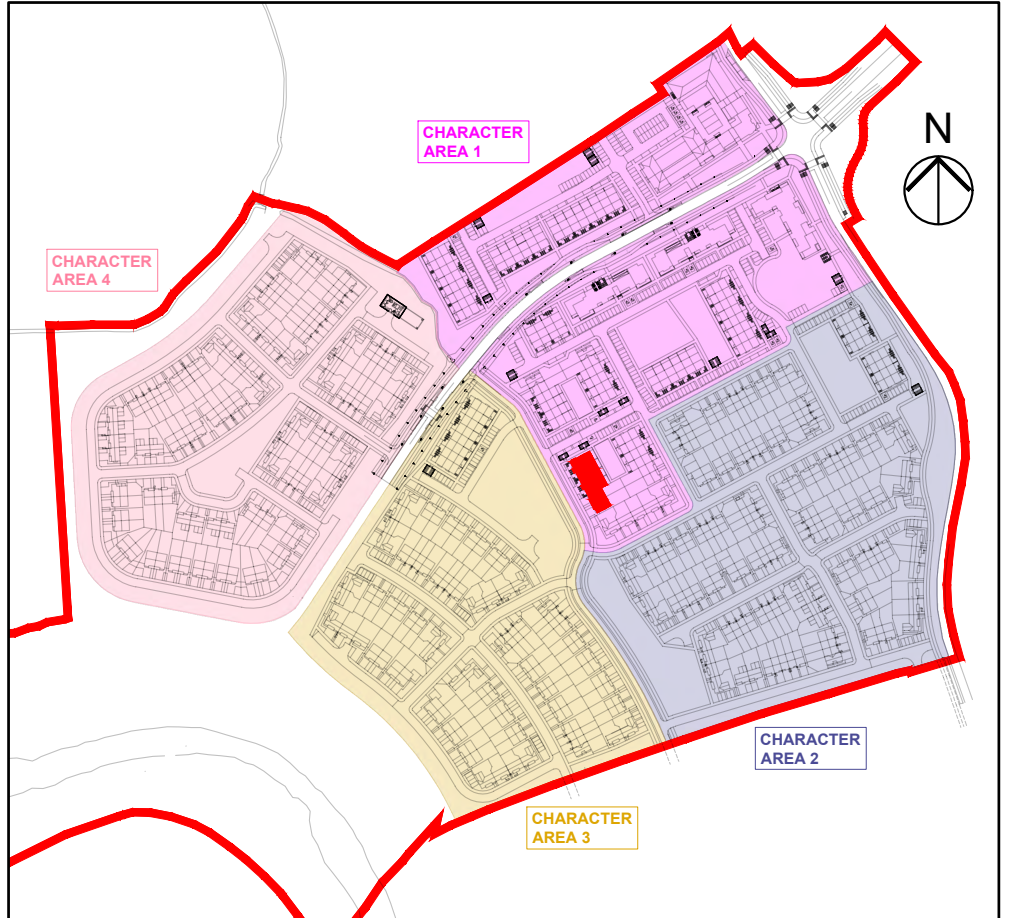




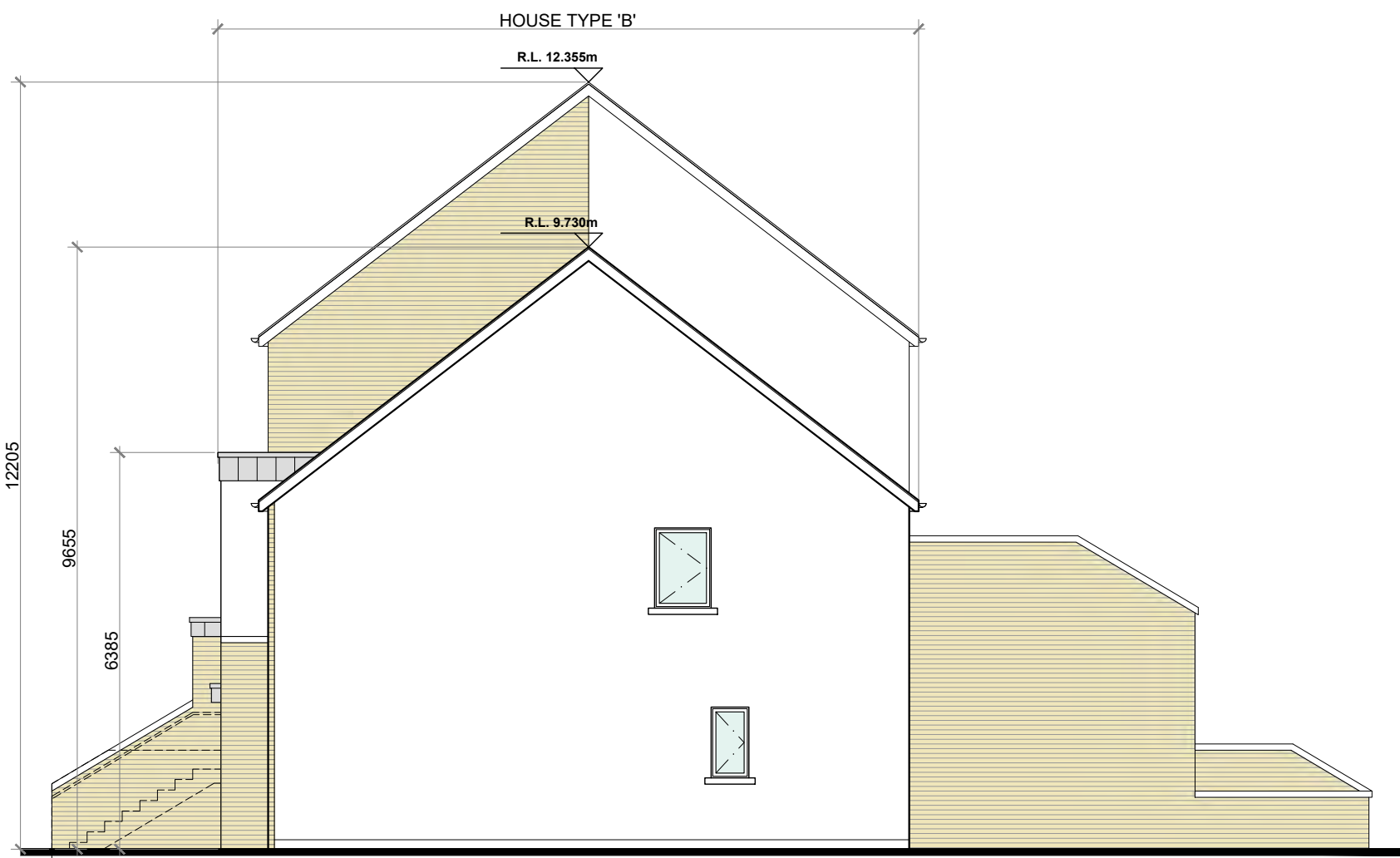
FRONT ELEVATION @ 1:100  
DUPLEX BLOCK TYPE 4A



REAR ELEVATION @ 1:100  
DUPLEX BLOCK TYPE 4A



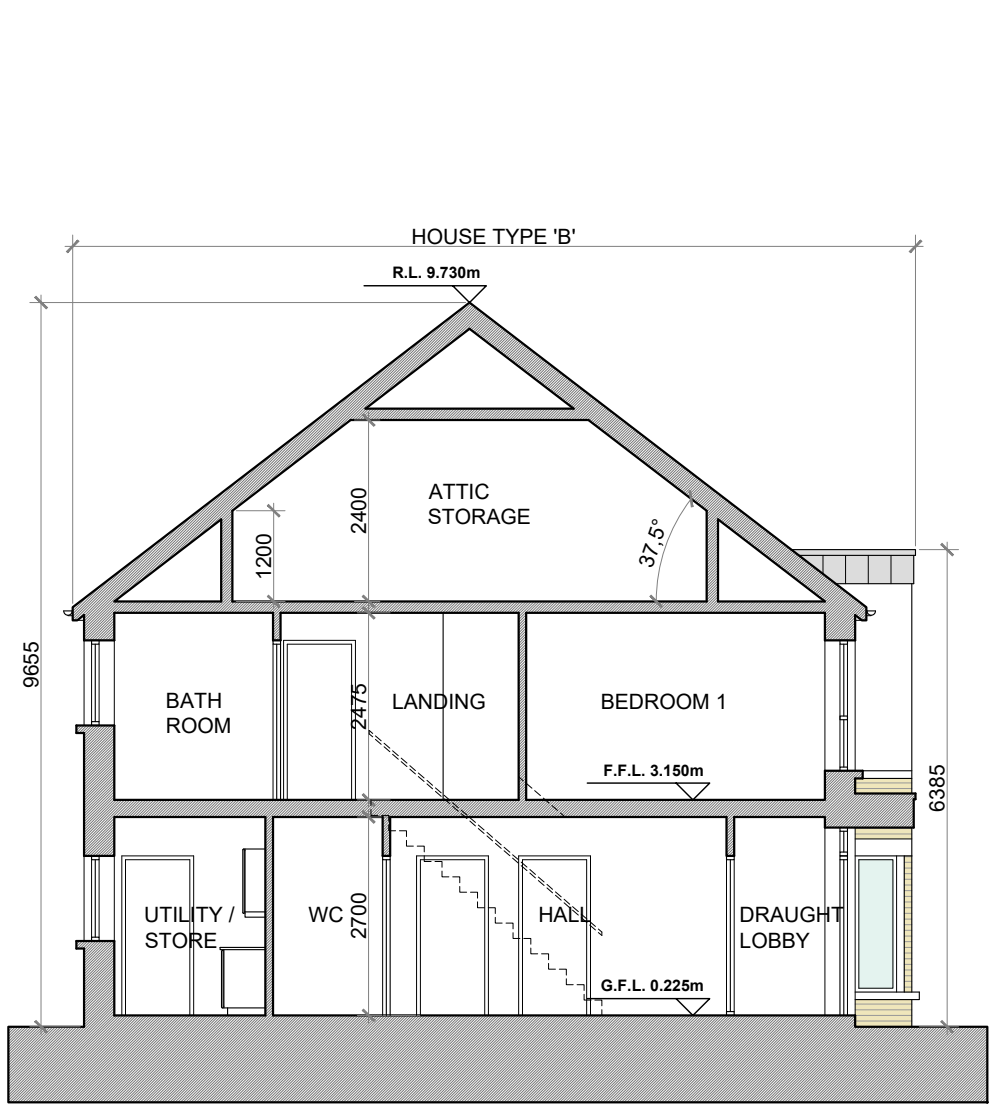
KEY PLAN



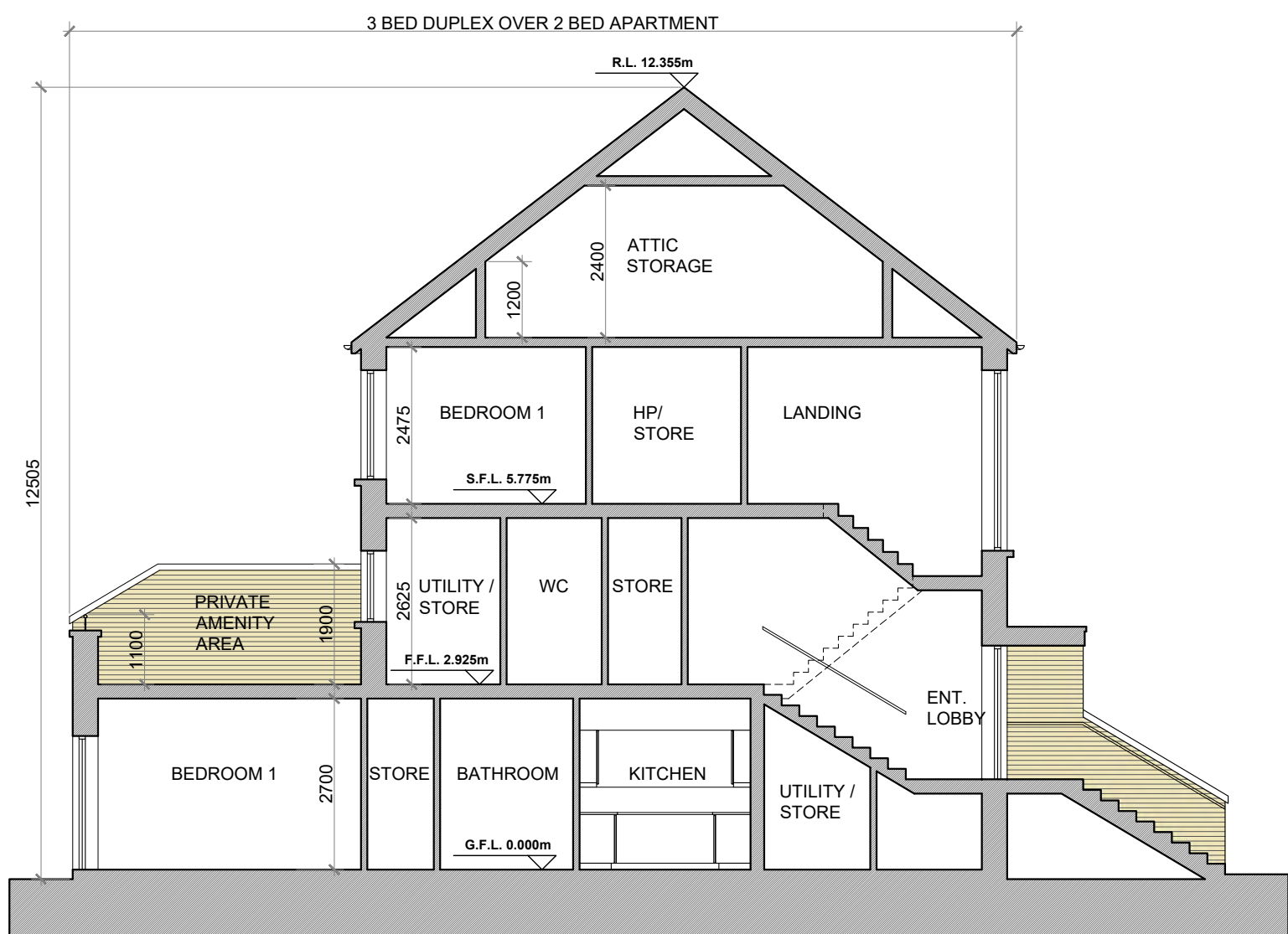
SIDE ELEVATION @ 1:100  
DUPLEX BLOCK TYPE 4A



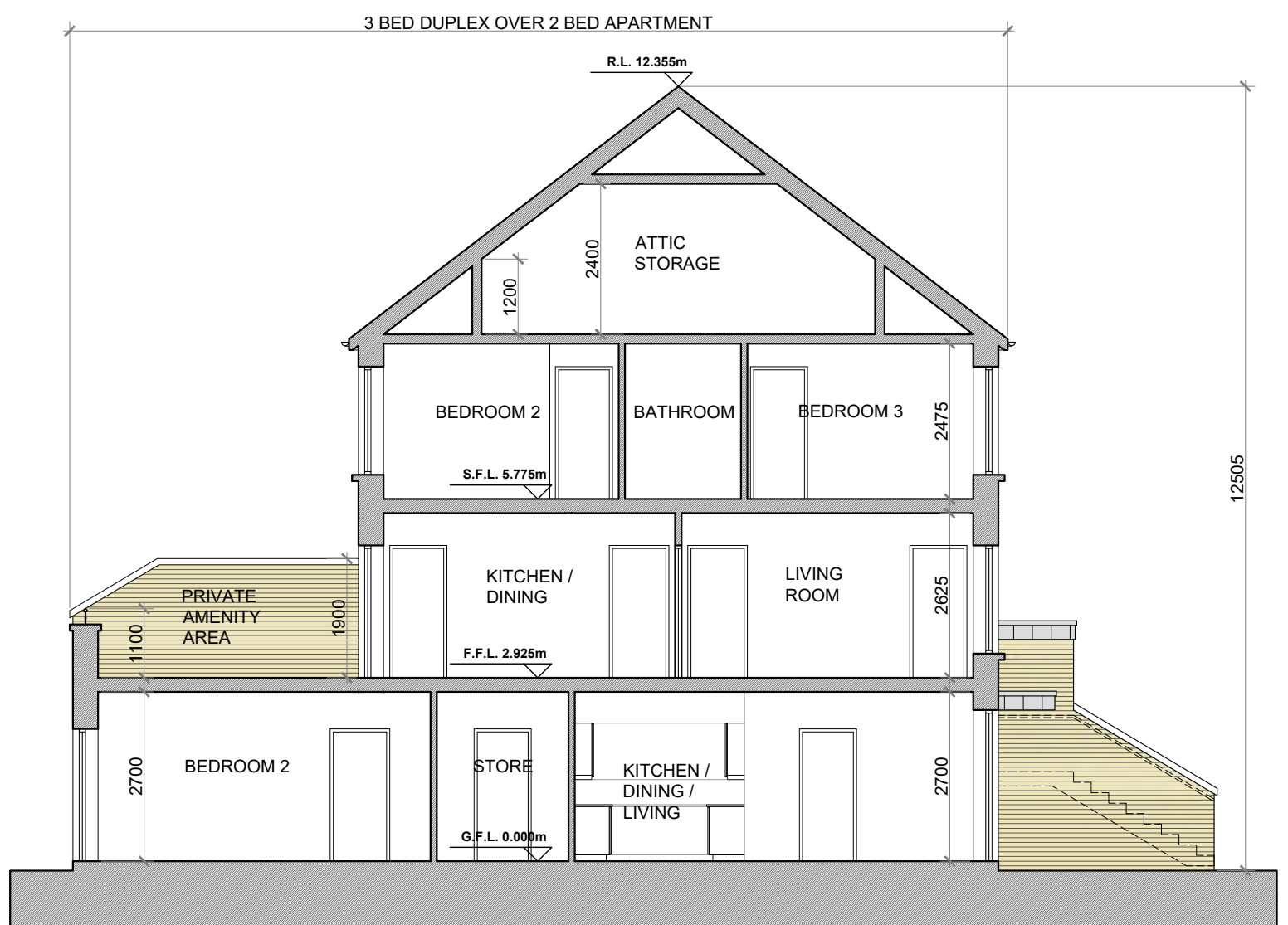
SIDE (DUAL FRONTAGE) ELEVATION @ 1:100  
DUPLEX BLOCK TYPE 4A



SECTION A-A @ 1:100  
DUPLEX BLOCK TYPE 4A



SECTION B-B @ 1:100  
DUPLEX BLOCK TYPE 4A



SECTION C-C @ 1:100  
DUPLEX BLOCK TYPE 4A

DUPLEX BLOCK TYPE 4A—CHARACTER AREA 1

NOTES:

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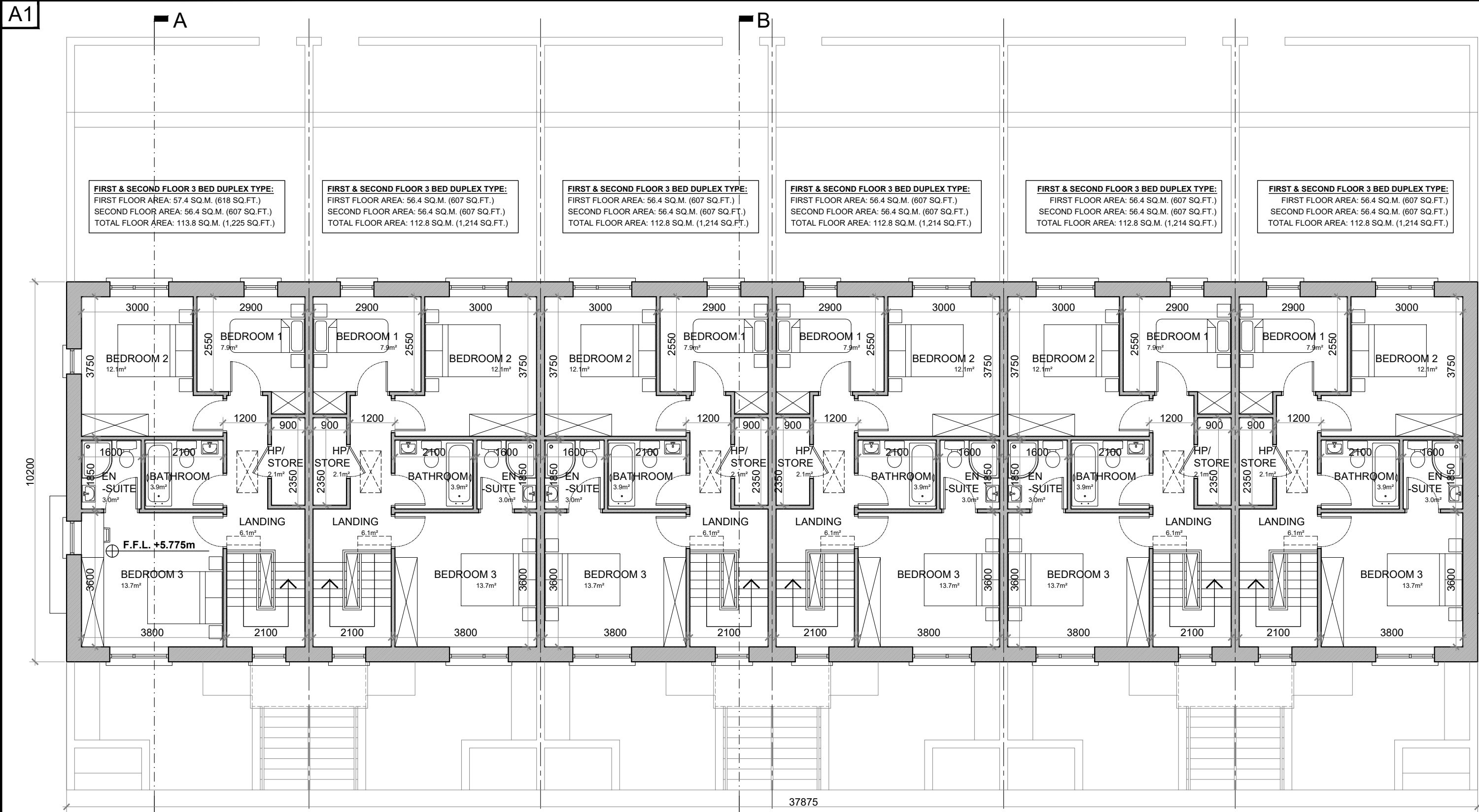
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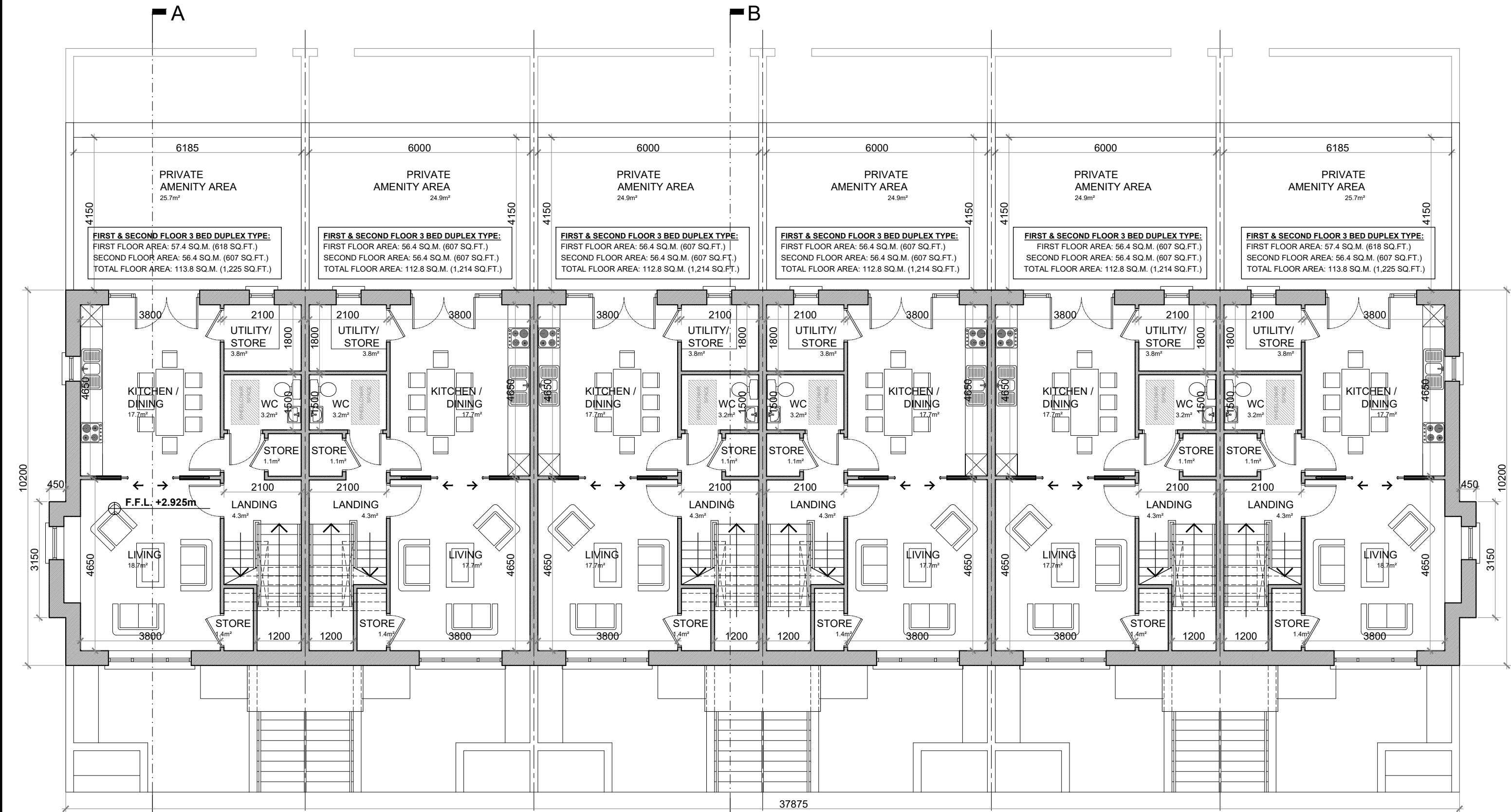
Member  
2021

PROJECT:	PROPOSED GREAT CONNELL SHD AT NEWBRIDGE, CO. KILDARE.
TITLE:	PROPOSED ELEVATIONS AND SECTIONS OF DUPLEX BLOCK TYPE 4A—CHARACTER AREA 1.
CLIENT:	ASTON LTD.
STAGE:	PLANNING
PROJECT NO.:	19070
DRG. NO.:	PA-109 (SHEET 2 OF 2)
SCALE:	1:100
DATE:	MARCH 2022
DRAWN:	POF
CHECKED:	POF

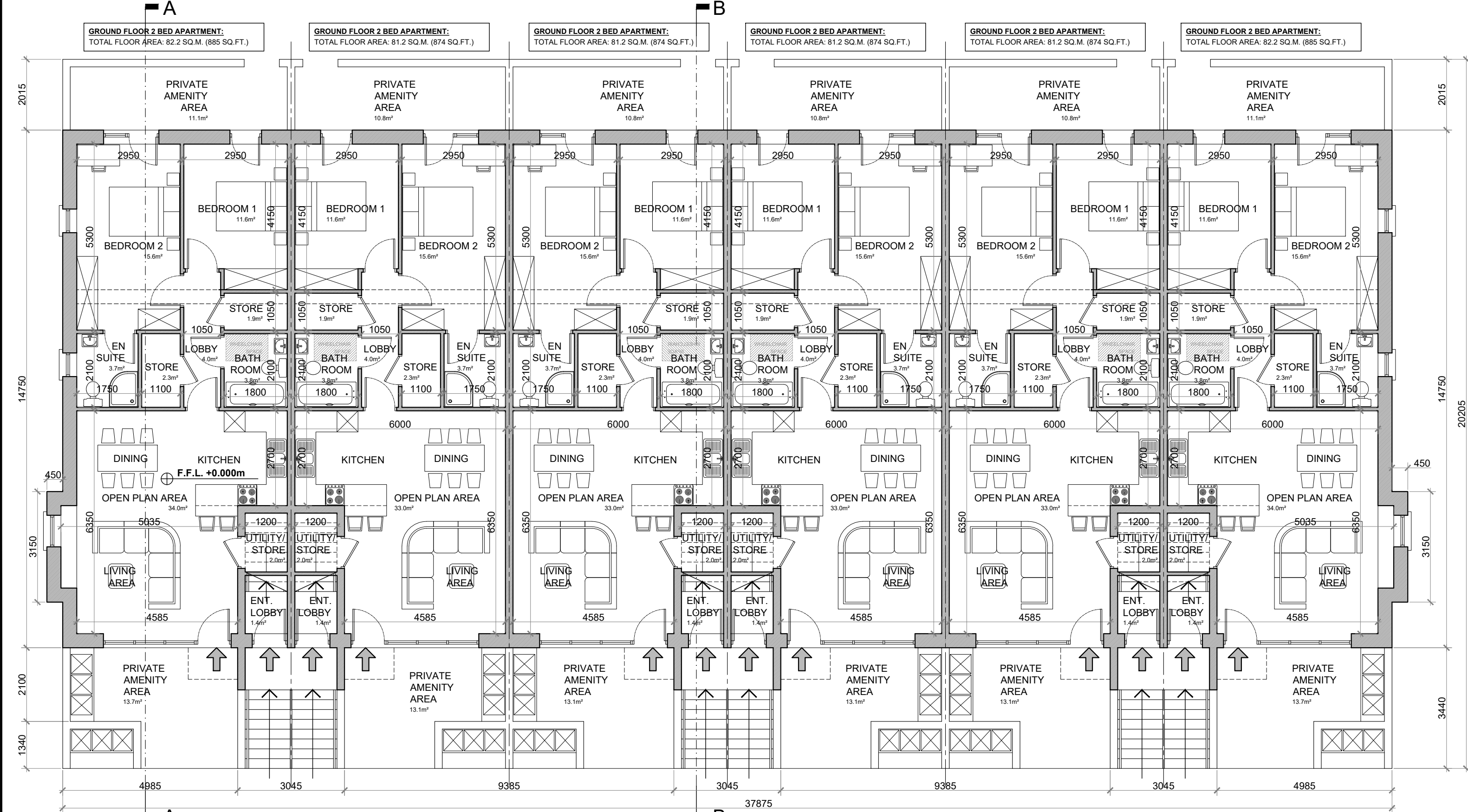




SECOND FLOOR PLAN @ 1:100  
3 BED DUPLEX TYPES  
DUPLEX BLOCK TYPE 5



FIRST FLOOR PLAN @ 1:100  
3 BED DUPLEX TYPES  
DUPLEX BLOCK TYPE 5



GROUND FLOOR PLAN @ 1:100  
2 BED APARTMENT TYPES  
DUPLEX BLOCK TYPE 5

APARTMENT TYPE:

GROUND FLOOR 2 BED APARTMENT—4 PERSON

FLOOR AREA / ROOM WIDTH REQUIREMENTS\*:

AREAS:	PROVIDED:	MIN. REQUIRED:
BEDROOM 1	11.6 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 2 (MAIN)	15.6 M <sup>2</sup>	13 M <sup>2</sup>
AGGREGATE LIVING	33 / 34 M <sup>2</sup>	30 M <sup>2</sup>
AGGREGATE BEDROOM	27.2 M <sup>2</sup>	24.4 M <sup>2</sup>
GROSS STORAGE	6.2 M <sup>2</sup>	6 M <sup>2</sup>
PRIVATE AMENITY SPACE	23.9 / 24.8 M <sup>2</sup>	7 M <sup>2</sup>
COMMUNAL AMENITY SPACE	>7 M <sup>2</sup>	7 M <sup>2</sup>
GROSS FLOOR SPACE	81.2 / 82.2 M <sup>2</sup>	73 M <sup>2</sup>

WIDTHS:	PROVIDED:	MIN. REQUIRED:
LIVING / DINING ROOM	4.585 M	3.6 M
BEDROOM 1 (DOUBLE)	2.95 M	2.8 M
BEDROOM 2 (DOUBLE)	2.95 M	2.8 M

\*FIGURES TAKEN FROM SUSTAINABLE URBAN HOUSING: DESIGN STANDARDS FOR NEW APARTMENTS PUBLISHED BY THE DOECLG.

APARTMENT TYPE:

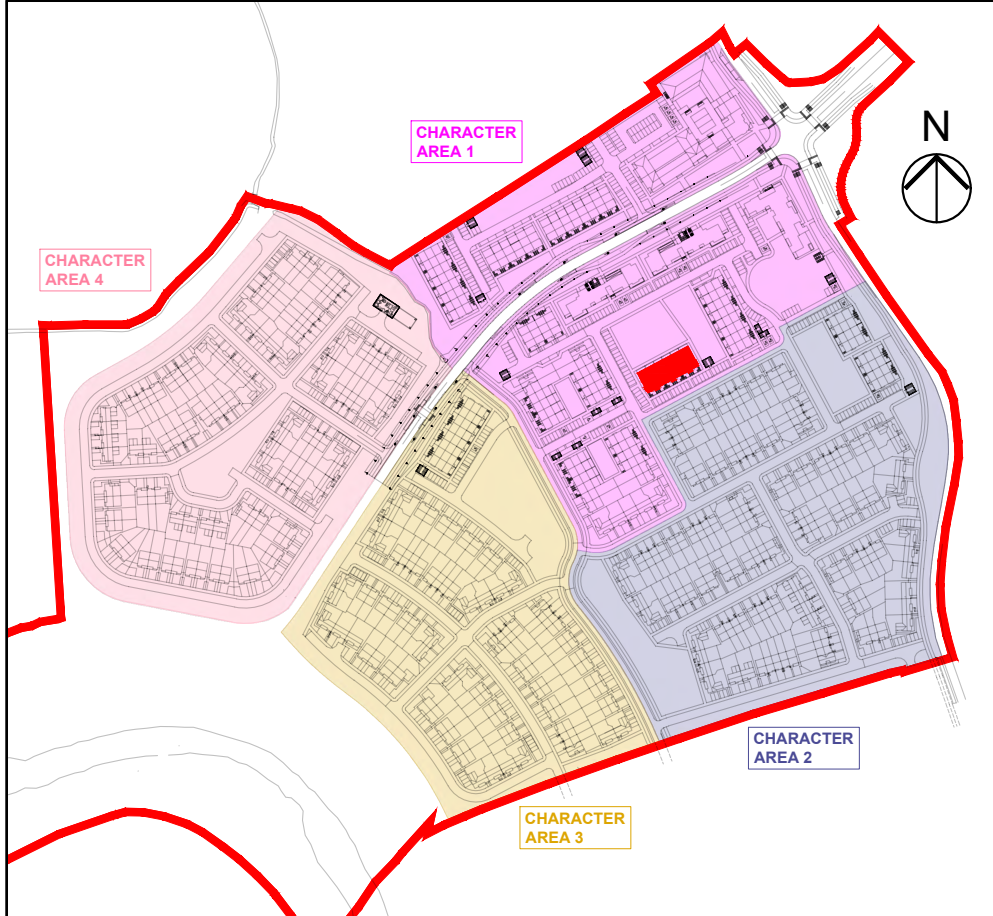
3 BED DUPLEX APARTMENT—5 PERSON

FLOOR AREA / ROOM WIDTH REQUIREMENTS\*:

AREAS:	PROVIDED:	MIN. REQUIRED:
BEDROOM 1	7.9 M <sup>2</sup>	7.1 M <sup>2</sup>
BEDROOM 2	12.1 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 3 (MAIN)	13.7 M <sup>2</sup>	13 M <sup>2</sup>
AGGREGATE LIVING	35.4 / 36.4 M <sup>2</sup>	34 M <sup>2</sup>
AGGREGATE BEDROOM	33.7 M <sup>2</sup>	31.5 M <sup>2</sup>
GROSS STORAGE	11.9 M <sup>2</sup> (INCL. ATTIC)	9 M <sup>2</sup> (KCC 9M <sup>2</sup> )
PRIVATE AMENITY SPACE	24.9 / 25.7 M <sup>2</sup>	9 M <sup>2</sup>
COMMUNAL AMENITY SPACE	>9 M <sup>2</sup>	9 M <sup>2</sup>
GROSS FLOOR SPACE	112.8 / 113.8 M <sup>2</sup>	90 M <sup>2</sup>

WIDTHS:	PROVIDED:	MIN. REQUIRED:
LIVING / DINING ROOM	3.8 M	3.8 M
BEDROOM 1 (SINGLE)	2.55 M	2.1 M
BEDROOM 2 (DOUBLE)	3 M	2.8 M
BEDROOM 3 (DOUBLE)	3.6 M	2.8 M

\*FIGURES TAKEN FROM SUSTAINABLE URBAN HOUSING: DESIGN STANDARDS FOR NEW APARTMENTS PUBLISHED BY THE DOECLG.



KEY PLAN

DUPLEX BLOCK TYPE 5—CHARACTER AREA 1

NOTES:  
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RIA  
2021

PROJECT: PROPOSED GREAT CONNELL SHD AT NEWBRIDGE, CO. KILDARE.

TITLE: PROPOSED GROUND, FIRST & SECOND FLOOR PLANS OF DUPLEX BLOCK TYPE 5—CHARACTER AREA 1.

CLIENT: ASTON LTD. STAGE: PLANNING

PROJECT NO.: 19070 DRG. NO.: PA-112 (SHEET 1 OF 2)

SCALE: 1:100 DRAWN: POF  
DATE: MARCH 2022 CHECKED: POF





FRONT ELEVATION @ 1:100  
DUPLEX BLOCK TYPE 5

**PROPOSED FINISHES:**

SLATE / TILED FINISH TO ROOF  
WITH STANDING SEAM ZINC CLAD  
FINISH (OR SIMILAR APPROVED)  
TO FLAT ROOF AREAS &  
ENTRANCE CANOPIES AS  
INDICATED.

UPVC / ALUMINIUM FINISH TO  
FASCIAS, GUTTERS AND  
DOWNPIPES.

SELECTED BRICK FINISH TO  
WALLS AS INDICATED.

PLASTER / RENDER FINISH TO  
WALLS AS INDICATED.

STANDING SEAM ZINC CLAD FINISH  
(OR SIMILAR APPROVED) TO  
WALLS AS INDICATED.

UPVC / ALUMINIUM / TIMBER FINISH  
TO WINDOWS AND DOORS.

PAINTED CONCRETE / STONE  
SILLS AND CAPPINGS.

PLASTER / RENDER FINISH TO  
PLINTH.



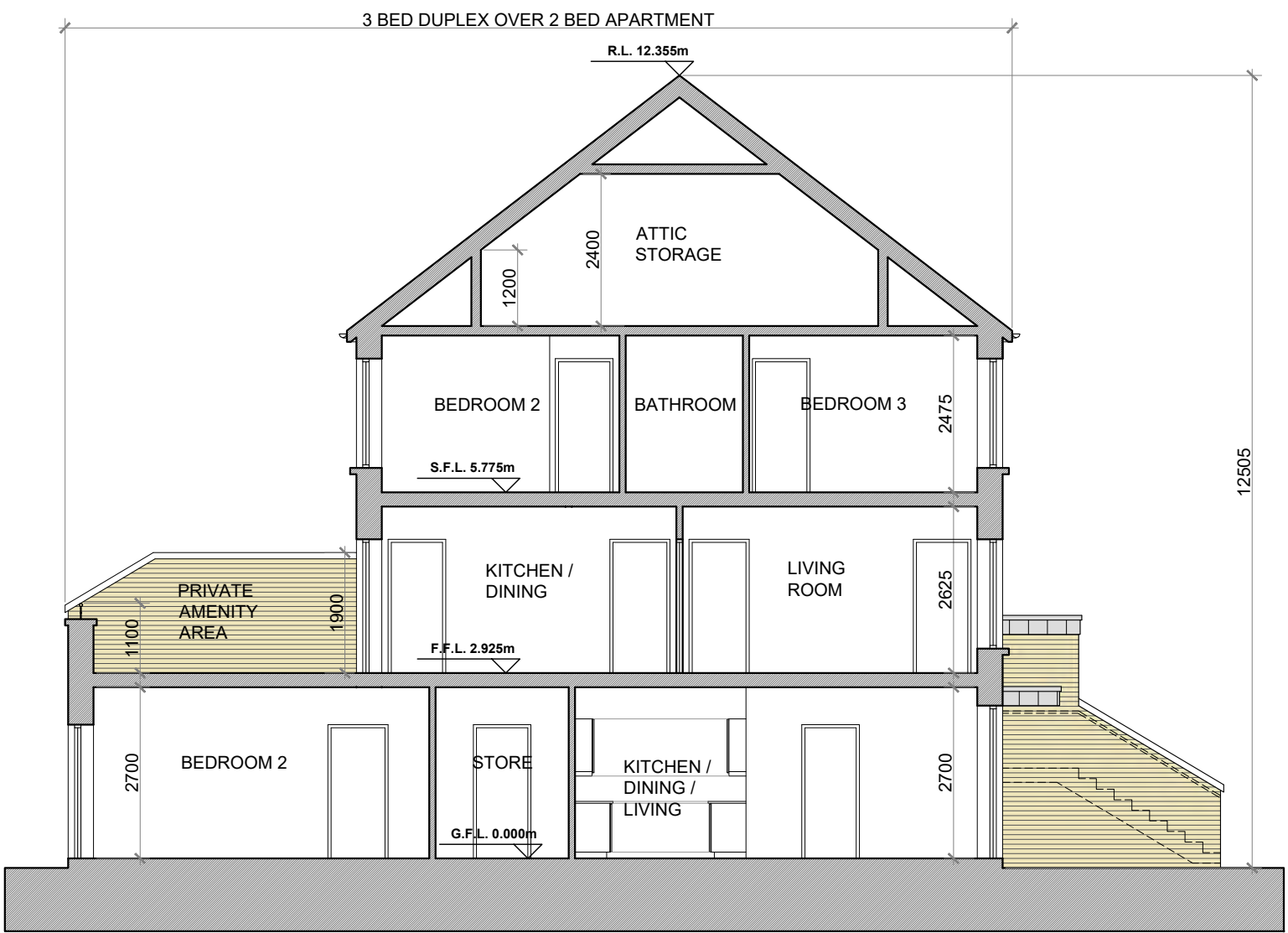
REAR ELEVATION @ 1:100  
DUPLEX BLOCK TYPE 5



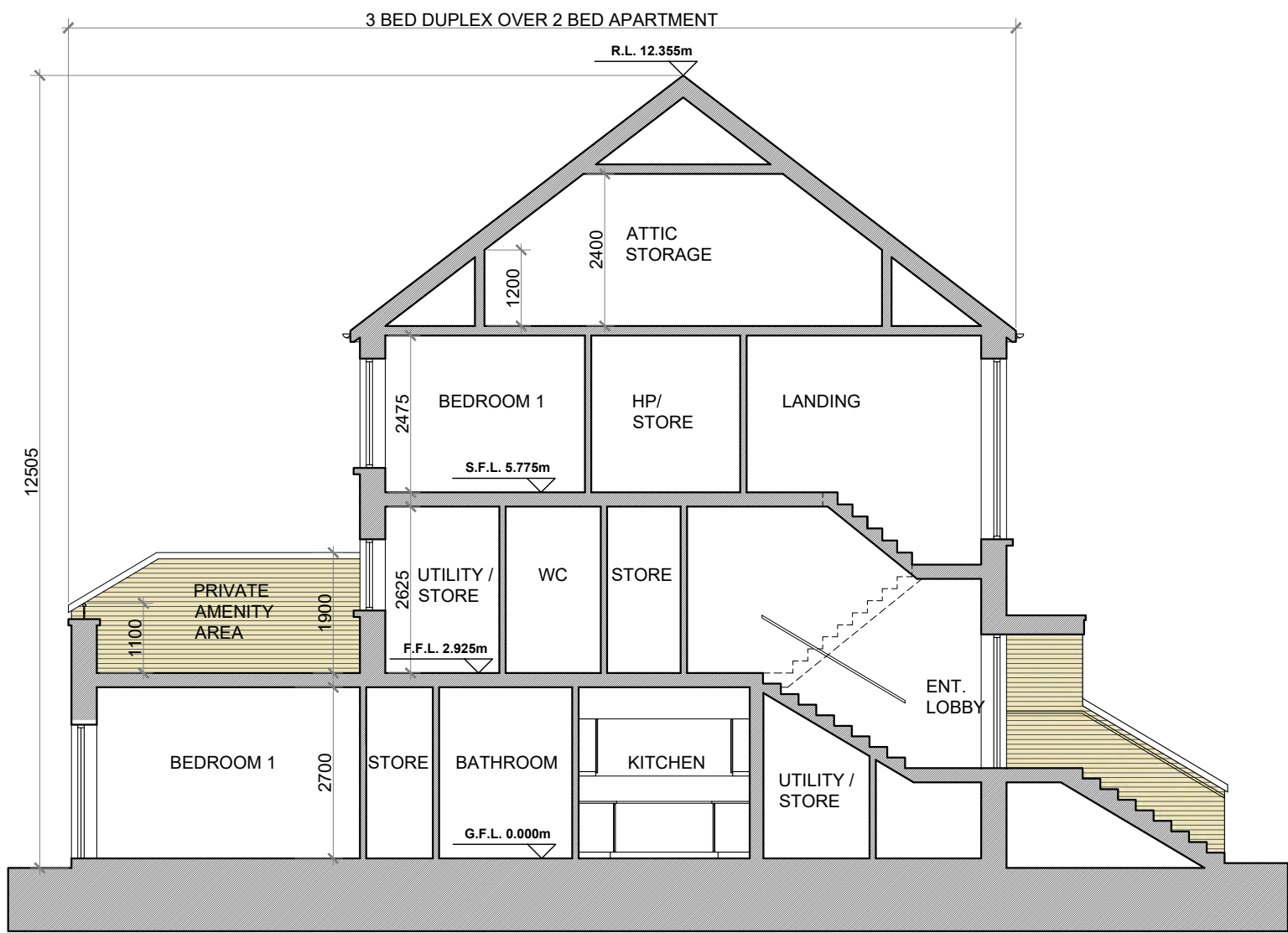
SIDE (DUAL FRONTAGE) ELEVATION @ 1:100  
DUPLEX BLOCK TYPE 5



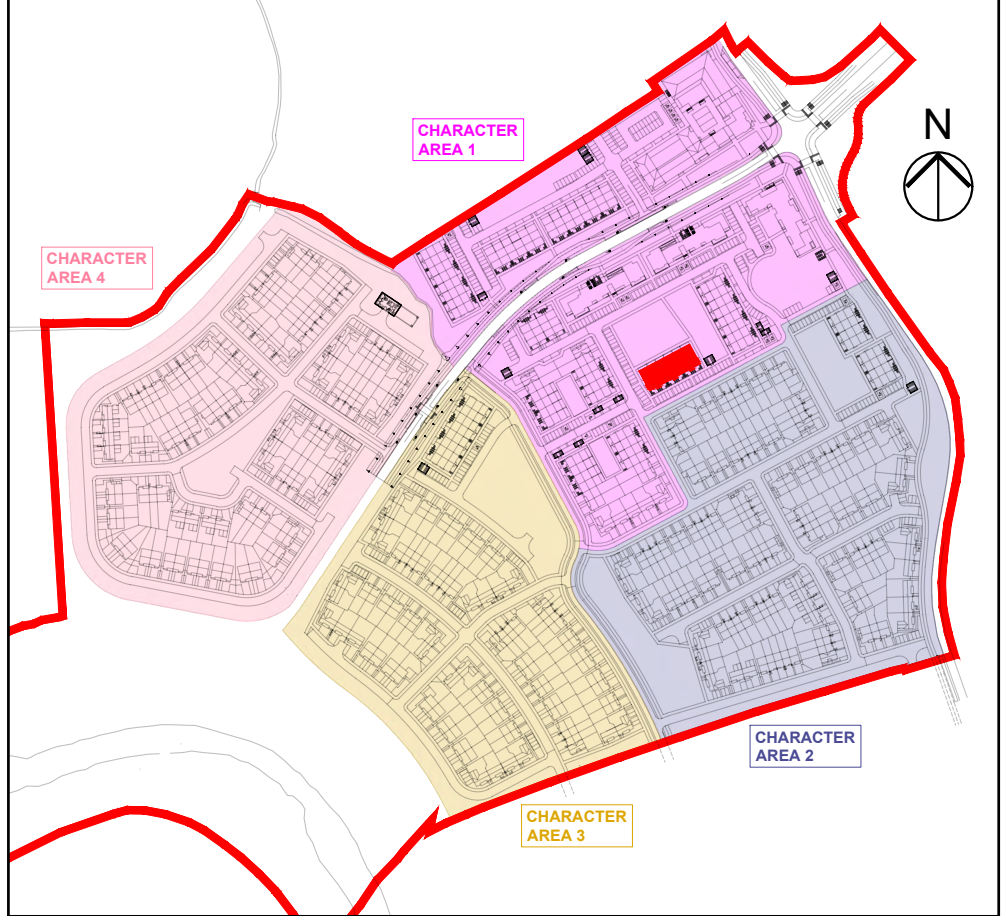
SIDE (DUAL FRONTAGE) ELEVATION @ 1:100  
DUPLEX BLOCK TYPE 5



SECTION A-A @ 1:100  
DUPLEX BLOCK TYPE 5



SECTION B-B @ 1:100  
DUPLEX BLOCK TYPE 5



KEY PLAN

DUPLEX BLOCK TYPE 5—CHARACTER AREA 1

**NOTES:**

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FOR THE ORIENTATION AND FLOOR  
LEVELS FOR EACH DWELLING .

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2021

PROJECT: PROPOSED GREAT CONNELL SHD AT NEWBRIDGE, CO. KILDARE.

TITLE: PROPOSED ELEVATIONS & SECTIONS OF DUPLEX BLOCK TYPE 5—CHARACTER AREA 1.

CLIENT: ASTON LTD.

STAGE: PLANNING

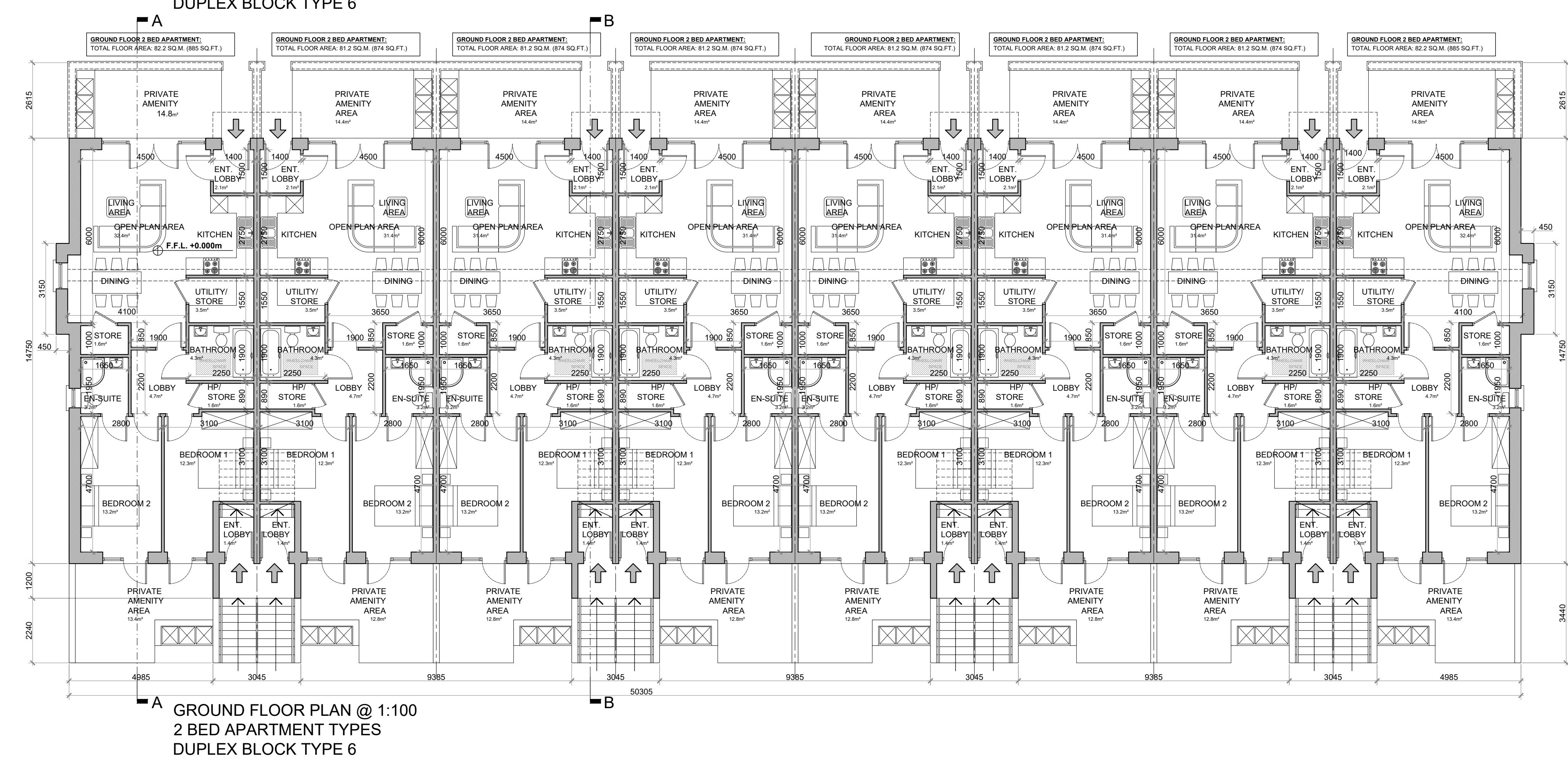
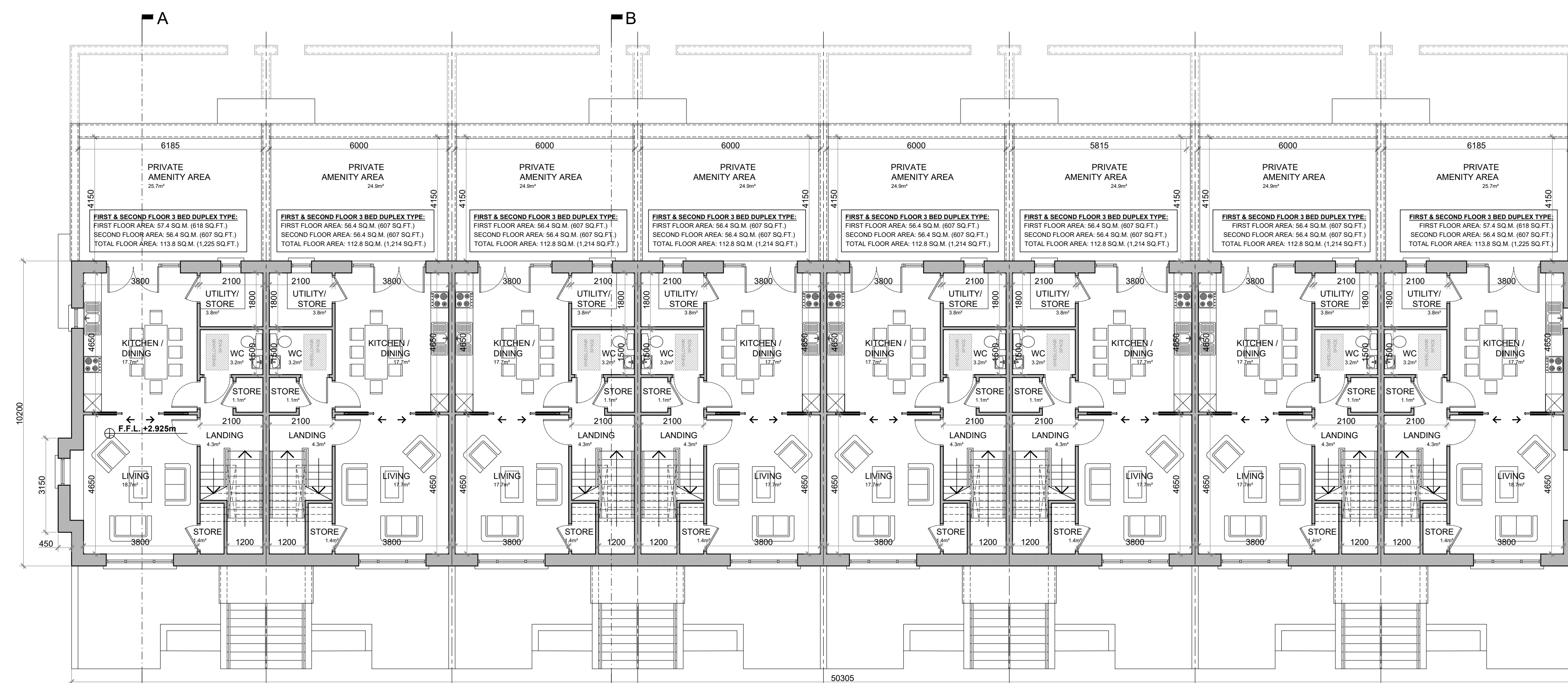
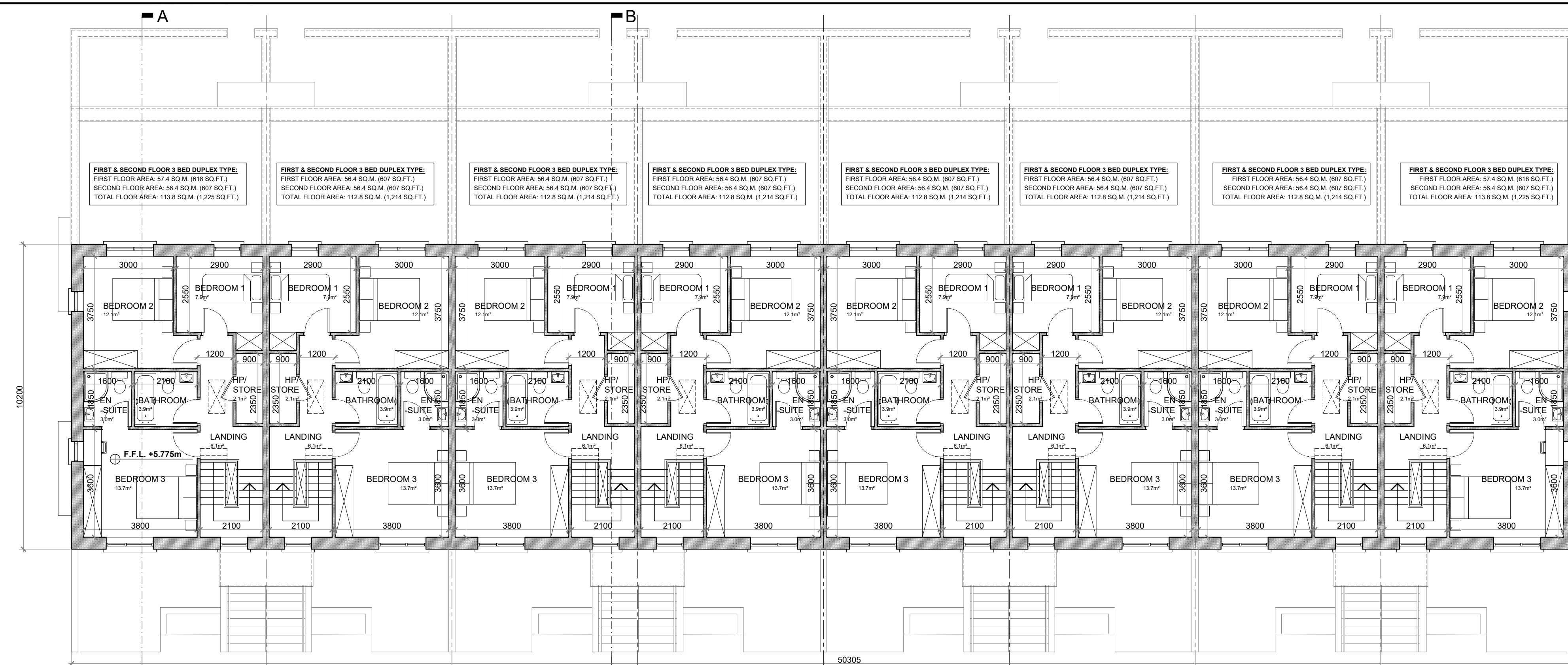
PROJECT NO.: 19070

DRG. NO.: PA-113 (SHEET 2 OF 2)

SCALE: 1:100  
DATE: MARCH 2022

DRAWN: POF  
CHECKED: POF





#### APARTMENT TYPE:

##### GROUND FLOOR 2 BED APARTMENT—4 PERSON

FLOOR AREA / ROOM WIDTH REQUIREMENTS:		
AREAS:	PROVIDED:	MIN. REQUIRED:
BEDROOM 1	12.3 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 2 (MAIN)	13.2 M <sup>2</sup>	13 M <sup>2</sup>
AGGREGATE LIVING	31.4 / 32.4 M <sup>2</sup>	30 M <sup>2</sup>
AGGREGATE BEDROOM	25.5 M <sup>2</sup>	24.4 M <sup>2</sup>
GROSS STORAGE	6 M <sup>2</sup>	6 M <sup>2</sup>
PRIVATE AMENITY SPACE	27.2 / 28.2 M <sup>2</sup>	7 M <sup>2</sup>
GROSS FLOOR SPACE	81.2 / 82.2 M <sup>2</sup>	73 M <sup>2</sup>
WIDTHS:	PROVIDED:	MIN. REQUIRED:
LIVING / DINING ROOM	4.7 M	3.6 M
BEDROOM 1 (DOUBLE)	3.1 M	2.8 M
BEDROOM 2 (DOUBLE)	3 M	2.8 M

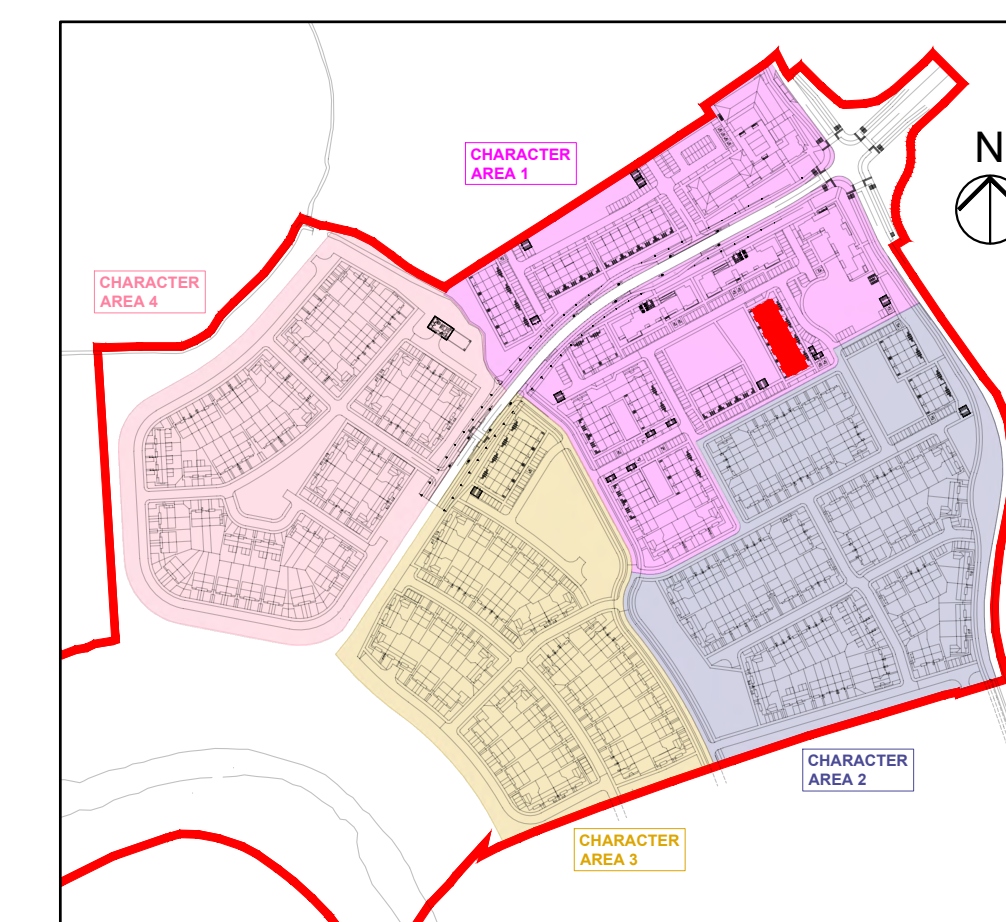
\*FIGURES TAKEN FROM SUSTAINABLE URBAN HOUSING: DESIGN STANDARDS FOR NEW APARTMENTS PUBLISHED BY THE DOECLG.

#### APARTMENT TYPE:

##### 3 BED DUPLEX APARTMENT—5 PERSON

FLOOR AREA / ROOM WIDTH REQUIREMENTS:		
AREAS:	PROVIDED:	MIN. REQUIRED:
BEDROOM 1	12.3 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 2	12.1 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 3 (MAIN)	13.7 M <sup>2</sup>	13.8 M <sup>2</sup>
AGGREGATE LIVING	32.4 / 36.4 M <sup>2</sup>	34 M <sup>2</sup>
AGGREGATE BEDROOM	33.7 M <sup>2</sup>	31.5 M <sup>2</sup>
GROSS STORAGE	11.5 M <sup>2</sup> (INCL. 3 M <sup>2</sup> HCC)	9 M <sup>2</sup>
PRIVATE AMENITY SPACE	24.9 / 25.7 M <sup>2</sup>	9 M <sup>2</sup>
COMMUNAL AMENITY SPACE	49 M <sup>2</sup>	49 M <sup>2</sup>
GROSS FLOOR SPACE	112.8 / 113.8 M <sup>2</sup>	90 M <sup>2</sup>
WIDTHS:	PROVIDED:	MIN. REQUIRED:
LIVING / DINING ROOM	3.8 M	3.8 M
BEDROOM 1 (SINGLE)	2.55 M	2.1 M
BEDROOM 2 (DOUBLE)	3 M	2.8 M
BEDROOM 3 (DOUBLE)	3.6 M	2.8 M

\*FIGURES TAKEN FROM SUSTAINABLE URBAN HOUSING: DESIGN STANDARDS FOR NEW APARTMENTS PUBLISHED BY THE DOECLG.



### DUPLEX BLOCK TYPE 6—CHARACTER AREA 1

#### NOTES:

DO NOT SCALE. USE ONLY FIGURED DIMENSIONS WHICH SHOULD BE CHECKED ON SITE BEFORE WORK COMMENCES.  
ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE LATEST BUILDING REGULATIONS.  
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E			M
F			N
G			O

#### LEGEND:

REFER TO THE SITE LAYOUT DRAWING FOR THE ORIENTATION AND FLOOR LEVELS FOR EACH DWELLING.

**OFA**

171/180 WARRINGTON ST.  
LOCHIN CRYE STREET,  
NEWBRIDGE,  
CO. DUBLIN  
TEL: 01-454-6666  
WWW.OFADESIGN.COM

**RIA**

2021

PROJECT: PROPOSED GREAT CONNELL SHD AT NEWBRIDGE, CO. KILDARE

TITLE: PROPOSED GROUND, FIRST & SECOND FLOOR PLANS OF DUPLEX BLOCK TYPE 6—CHARACTER AREA 1

CLIENT: ASTON LTD. STAGE: PLANNING

PROJECT NO.: 19070 DRG. NO.: PA-114 (SHEET 1 OF 2)

SCALE: 1:100

DATE: MARCH 2022

DRAWN: POF

CHECKED: POF





FRONT ELEVATION @ 1:100  
DUPLEX BLOCK TYPE 6



REAR ELEVATION @ 1:100  
DUPLEX BLOCK TYPE 6



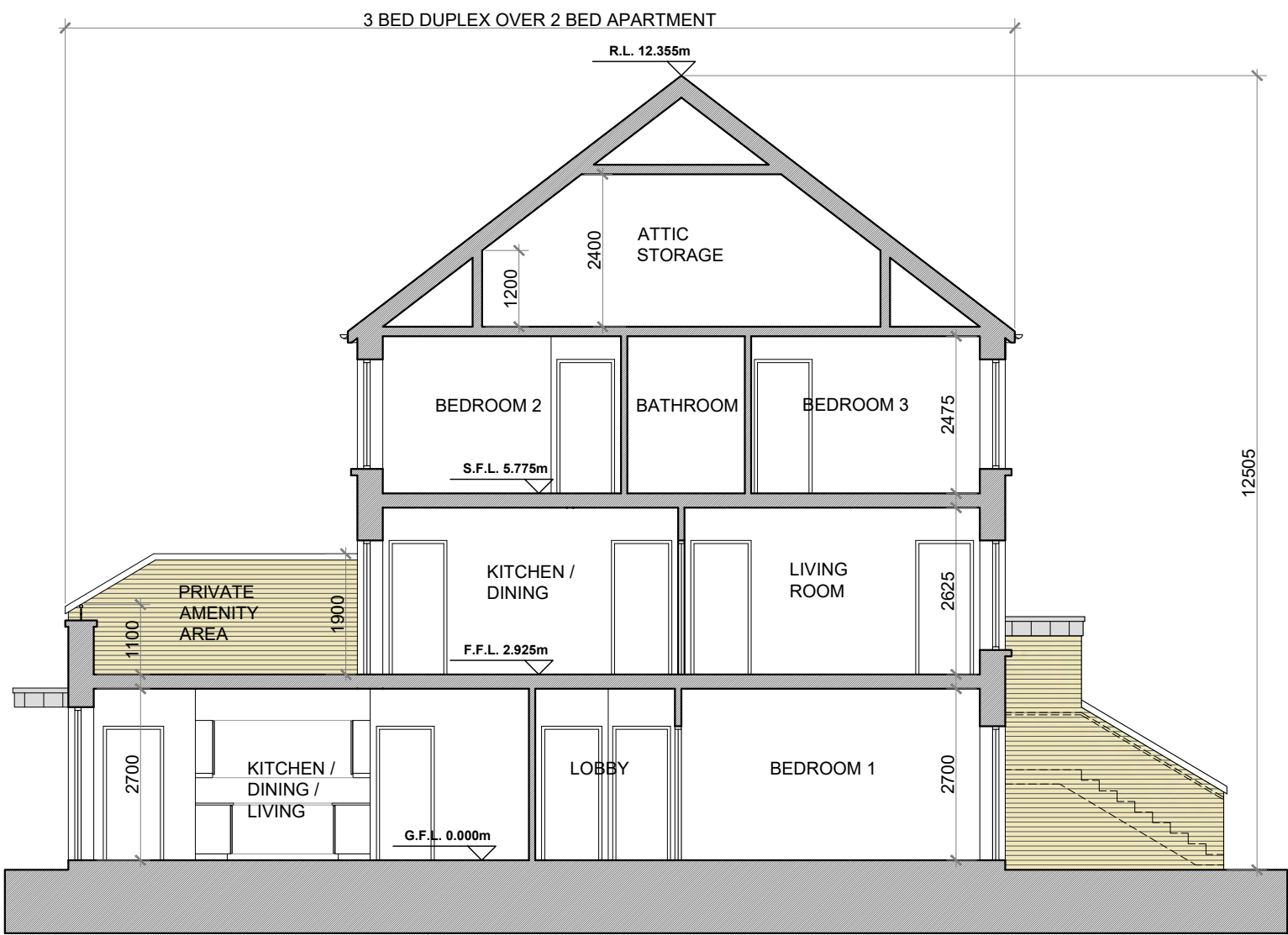
SIDE (DUAL FRONTAGE) ELEVATION @ 1:100  
DUPLEX BLOCK TYPE 6



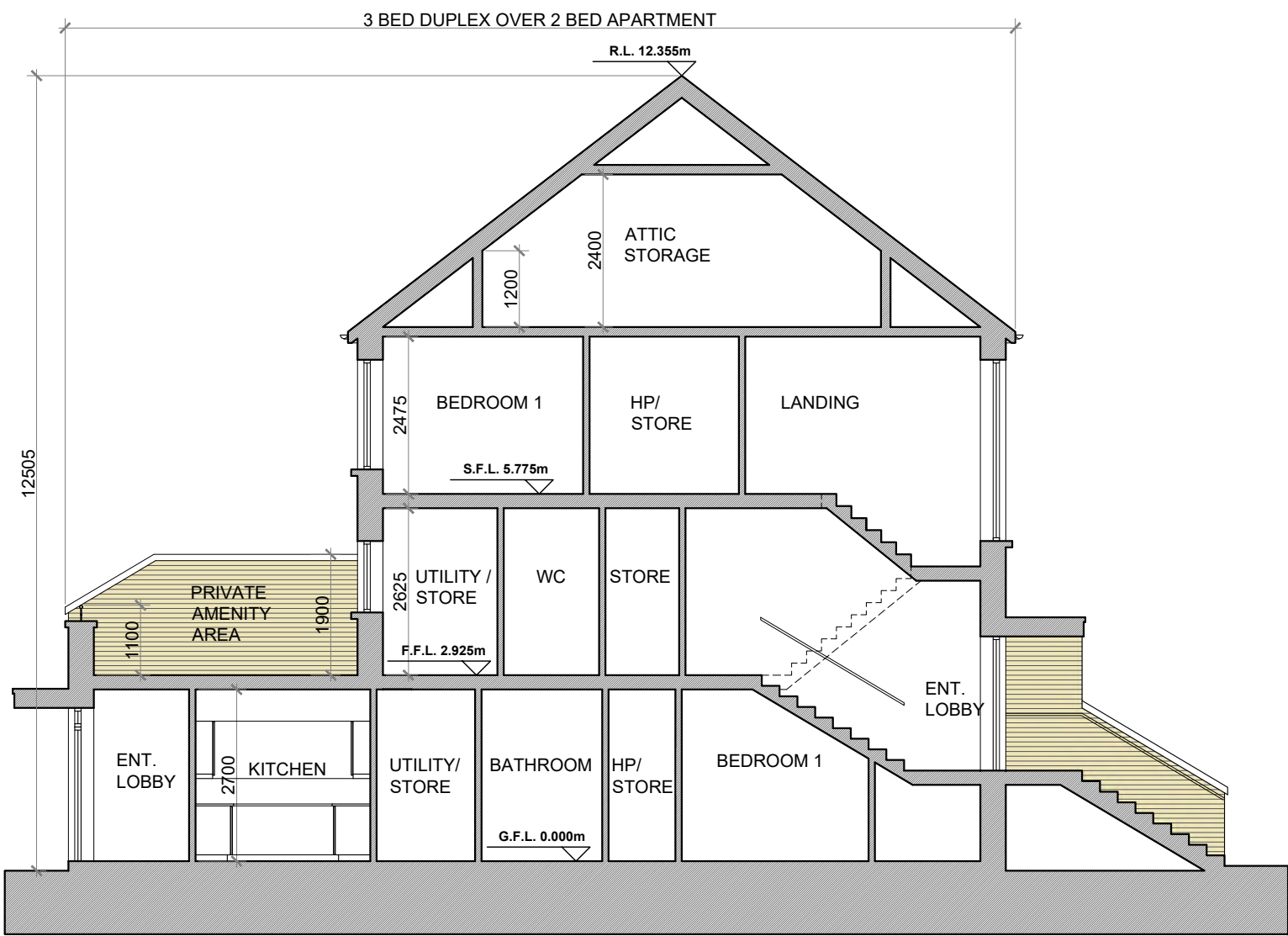
SIDE (DUAL FRONTAGE) ELEVATION @ 1:100  
DUPLEX BLOCK TYPE 6

**PROPOSED FINISHES:**

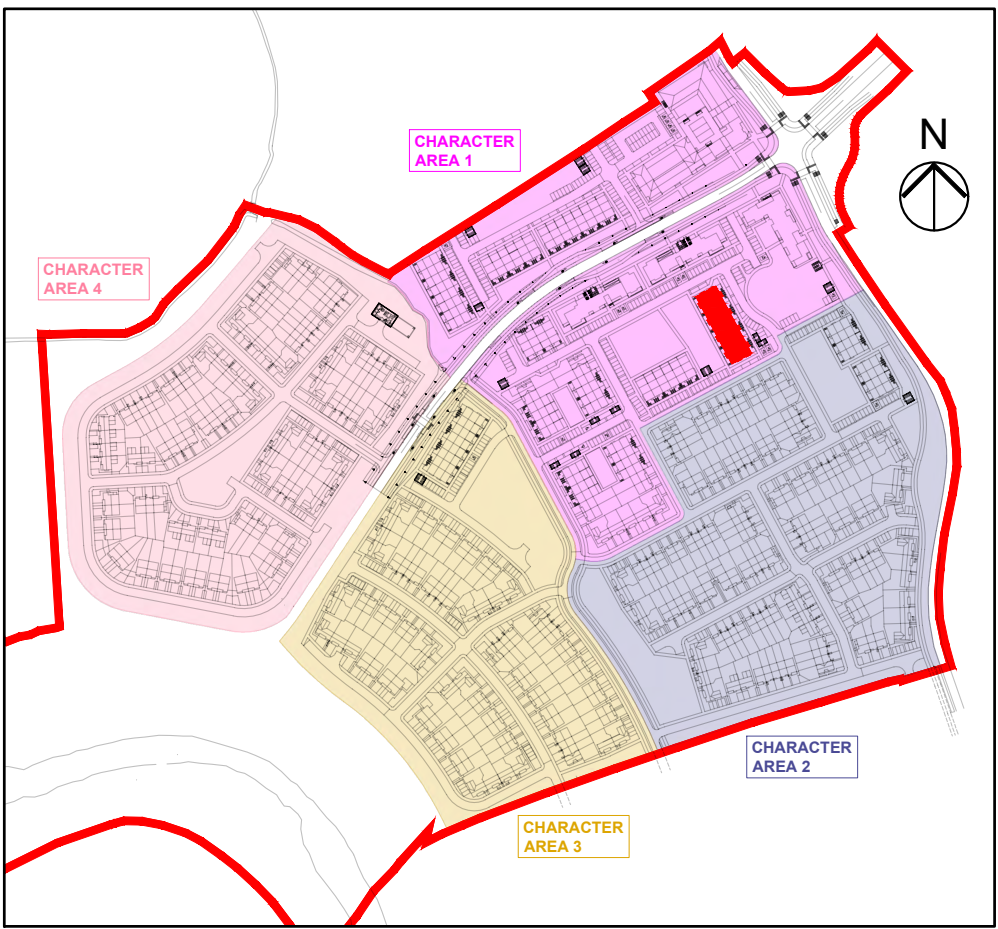
- SLATE / TILED FINISH TO ROOF WITH STANDING SEAM ZINC CLAD FINISH (OR SIMILAR APPROVED) TO FLAT ROOF AREAS & ENTRANCE CANOPIES AS INDICATED.
- UPVC / ALUMINIUM FINISH TO FASCIA, GUTTERS AND DOWNPIPES.
- SELECTED BRICK FINISH TO WALLS AS INDICATED.
- PLASTER / RENDER FINISH TO WALLS AS INDICATED.
- STANDING SEAM ZINC CLAD FINISH (OR SIMILAR APPROVED) TO WALLS AS INDICATED.
- UPVC / ALUMINIUM / TIMBER FINISH TO WINDOWS AND DOORS.
- PAINTED CONCRETE / STONE SILLS AND CAPPINGS.
- PLASTER / RENDER FINISH TO LINTH.



SECTION A-A @ 1:100  
DUPLEX BLOCK TYPE 6



SECTION B-B @ 1:100  
DUPLEX BLOCK TYPE 6



KEY PLAN

DUPLEX BLOCK TYPE 6—CHARACTER AREA 1

**NOTES:**

DO NOT SCALE. USE ONLY FIGURED DIMENSIONS WHICH SHOULD BE CHECKED ON SITE BEFORE WORK COMMENCES.

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**OFA**

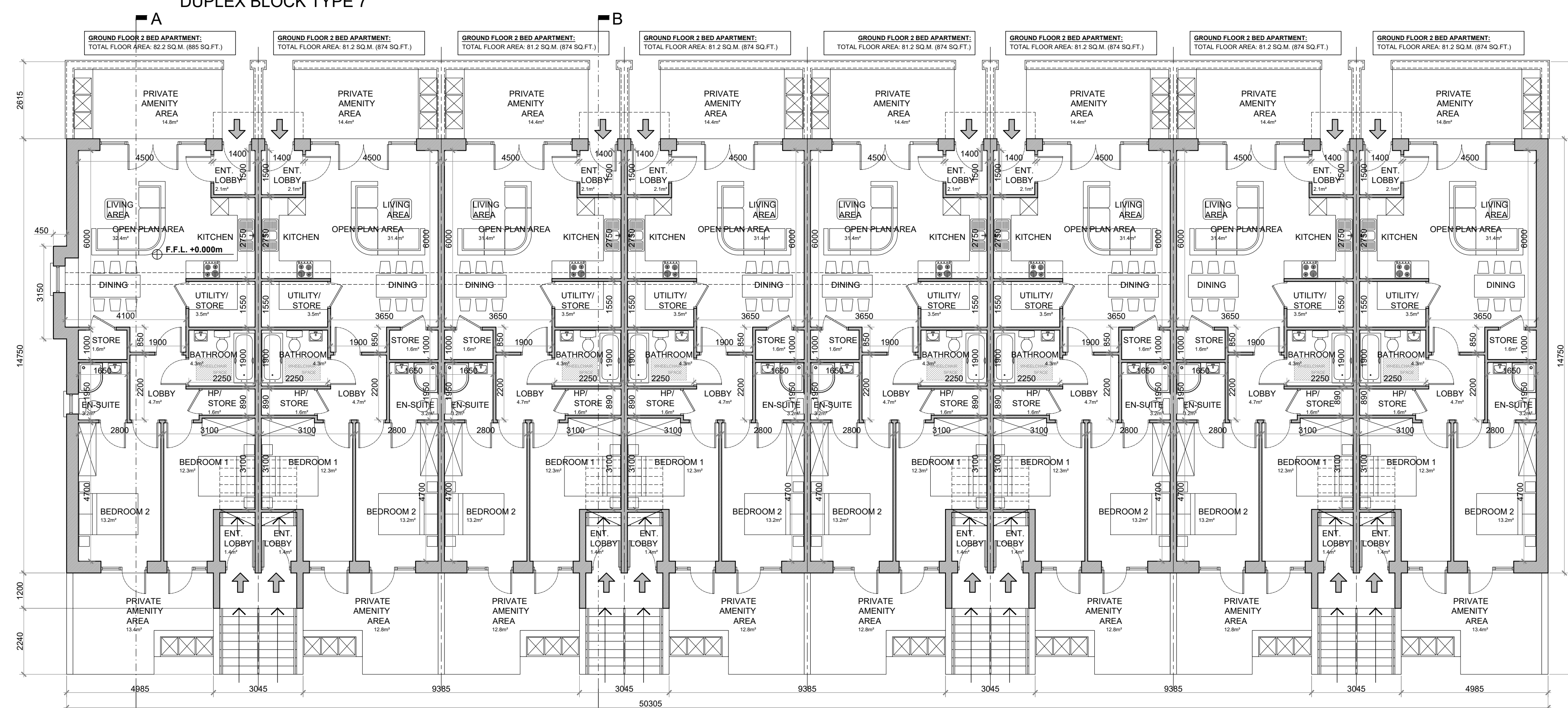
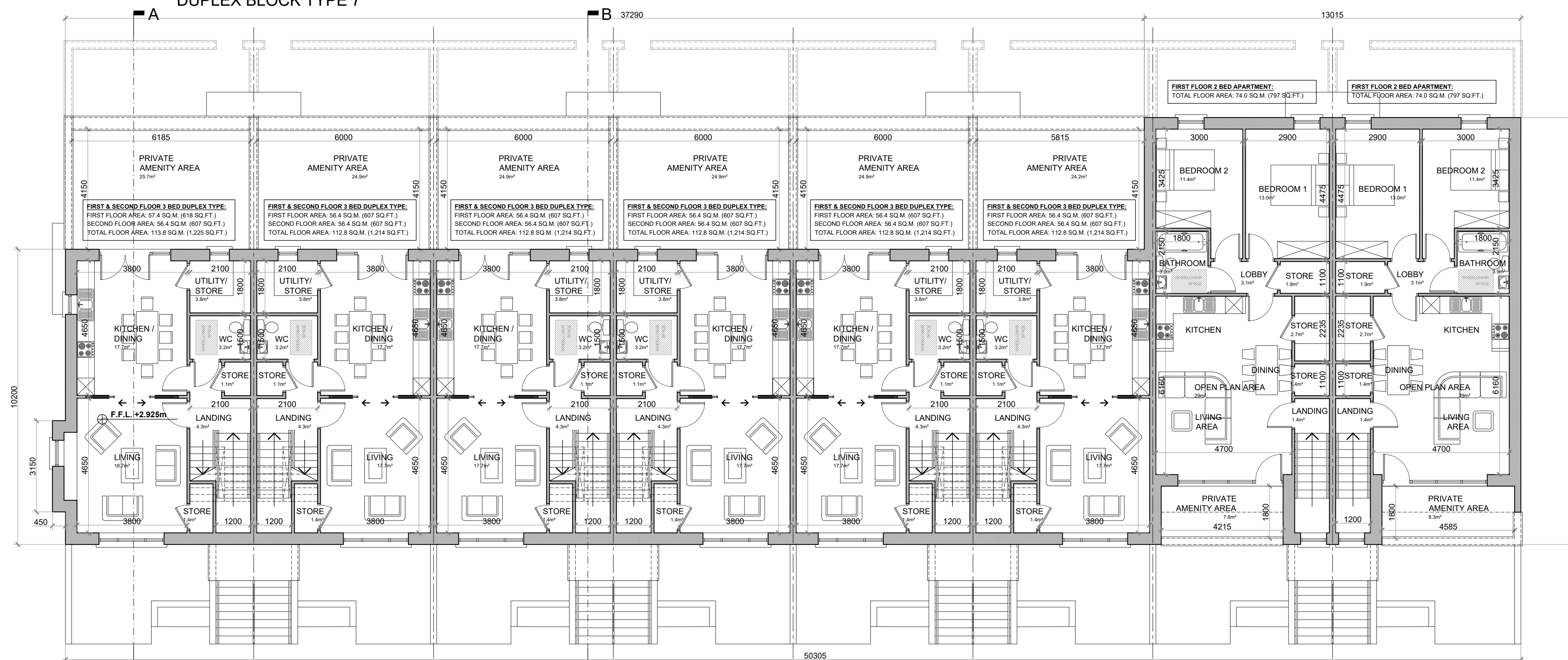
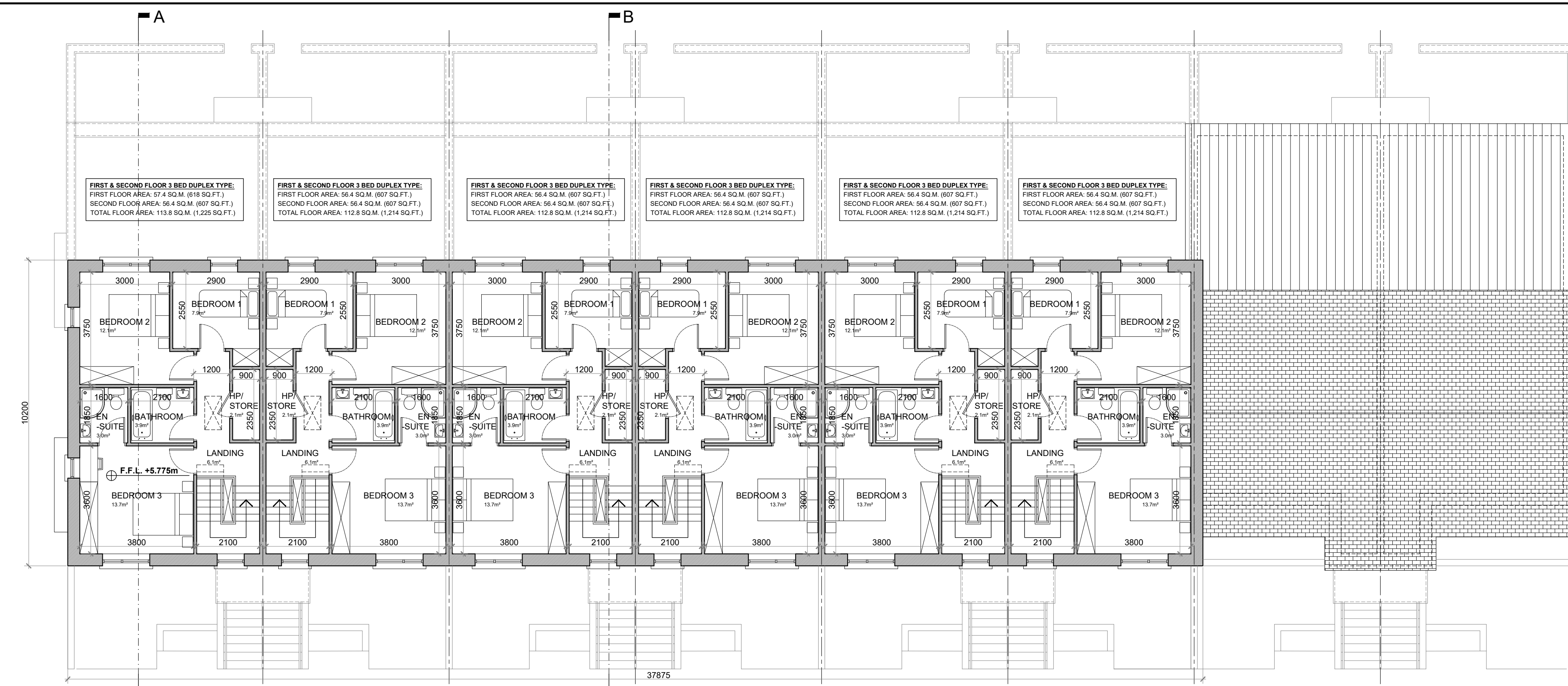
O'FLYNN ARCHITECTS,  
LOWER EYRE STREET,  
CO KILDARE,  
TEL: 045 433400  
EMAIL: info@oflynnarchitects.ie  
WEB: www.oflynnarchitect.ie

**RIA**

Project Number  
**2021**

PROJECT:	PROPOSED GREAT CONNELL SHD AT NEWBRIDGE, CO. KILDARE.		
TITLE:	PROPOSED ELEVATIONS & SECTIONS OF DUPLEX BLOCK TYPE 6—CHARACTER AREA 1.		
CLIENT:	ASTON LTD.	STAGE:	PLANNING
PROJECT NO.:	19070	DRG. NO.:	PA-115 (SHEET 2 OF 2)
SCALE:	1:100	DRAWN:	POF
DATE:	MARCH 2022	CHECKED:	POF





**APARTMENT TYPE:  
GROUND FLOOR 2 BED APARTMENT—4 PERSON**

FLOOR AREA / ROOM WIDTH REQUIREMENTS*			
AREAS:	PROVIDED:	MIN. REQUIRED:	
BEDROOM 1	12.3 M <sup>2</sup>	11.4 M <sup>2</sup>	
BEDROOM 2	13.2 M <sup>2</sup>	13 M <sup>2</sup>	
AGGREGATE LIVING	31.4 / 32.4 M <sup>2</sup>	30 M <sup>2</sup>	
AGGREGATE BEDROOM	25.5 M <sup>2</sup>	24.4 M <sup>2</sup>	
GROSS STORAGE	6.7 M <sup>2</sup>	6 M <sup>2</sup>	
PRIVATE AMENITY SPACE	27.2 / 28.3 M <sup>2</sup>	7 M <sup>2</sup>	
COMMUNAL AMENITY SPACE	>7 M <sup>2</sup>	7 M <sup>2</sup>	
GROSS FLOOR SPACE	81.2 / 82.2 M <sup>2</sup>	73 M <sup>2</sup>	

WIDTHS:			
LIVING / DINING ROOM	PROVIDED:	MIN. REQUIRED:	
BEDROOM 1 (DOUBLE)	4.7 M	2.8 M	
BEDROOM 2 (DOUBLE)	3.1 M	2.8 M	

\*FIGURES TAKEN FROM SUSTAINABLE URBAN HOUSING: DESIGN STANDARDS FOR NEW APARTMENTS PUBLISHED BY THE DfECLG

**APARTMENT TYPE:  
FIRST FLOOR 2 BED APARTMENT—4 PERSON**

FLOOR AREA / ROOM WIDTH REQUIREMENTS*			
AREAS:	PROVIDED:	MIN. REQUIRED:	
BEDROOM 1 (MAIN)	13 M <sup>2</sup>	13 M <sup>2</sup>	
BEDROOM 2	11.4 M <sup>2</sup>	11.4 M <sup>2</sup>	
AGGREGATE LIVING	28 M <sup>2</sup> (incl. variation)	30 M <sup>2</sup>	
AGGREGATE BEDROOM	24 M <sup>2</sup>	24 M <sup>2</sup>	
GROSS STORAGE	6 M <sup>2</sup>	6 M <sup>2</sup>	
PRIVATE AMENITY SPACE	7.8 / 8.3 M <sup>2</sup>	7 M <sup>2</sup>	
COMMUNAL AMENITY SPACE	>7 M <sup>2</sup>	7 M <sup>2</sup>	
GROSS FLOOR SPACE	74 / 75.1 M <sup>2</sup>	73 M <sup>2</sup>	

WIDTHS:			
LIVING / DINING ROOM	PROVIDED:	MIN. REQUIRED:	
BEDROOM 1 (DOUBLE)	4.7 M	2.8 M	
BEDROOM 2 (DOUBLE)	2.9 M	2.8 M	

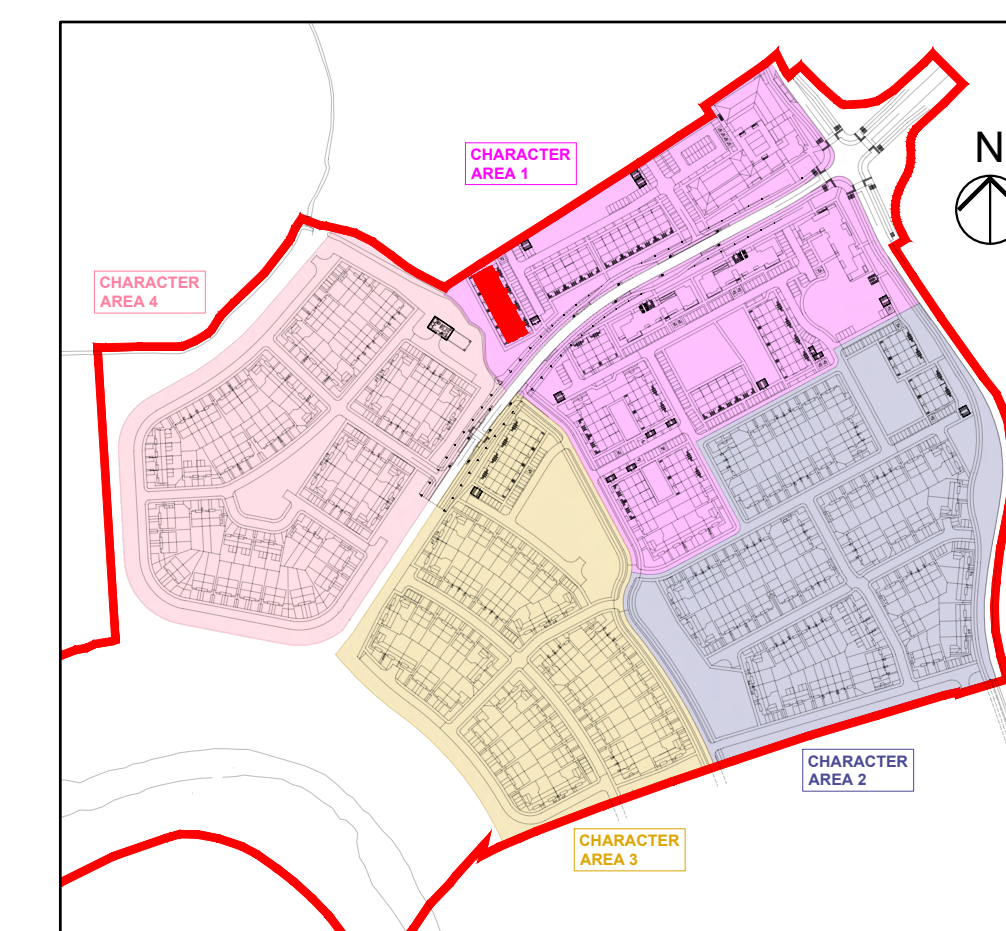
\*FIGURES TAKEN FROM SUSTAINABLE URBAN HOUSING: DESIGN STANDARDS FOR NEW APARTMENTS PUBLISHED BY THE DfECLG

**APARTMENT TYPE:  
3 BED DUPLEX APARTMENT—5 PERSON**

FLOOR AREA / ROOM WIDTH REQUIREMENTS*			
AREAS:	PROVIDED:	MIN. REQUIRED:	
BEDROOM 1	7.9 M <sup>2</sup>	7.1 M <sup>2</sup>	
BEDROOM 2	12.1 M <sup>2</sup>	11.4 M <sup>2</sup>	
BEDROOM 3 (MAIN)	13 M <sup>2</sup>	13 M <sup>2</sup>	
AGGREGATE LIVING	35.4 / 36.4 M <sup>2</sup>	34 M <sup>2</sup>	
AGGREGATE BEDROOM	33.7 M <sup>2</sup>	31.5 M <sup>2</sup>	
GROSS STORAGE	11.9 M <sup>2</sup> (incl. attic)	9 M <sup>2</sup> (incl. attic)	
PRIVATE AMENITY SPACE	24.2 / 24.9 / 25.7 M <sup>2</sup>	9 M <sup>2</sup>	
COMMUNAL AMENITY SPACE	>9 M <sup>2</sup>	9 M <sup>2</sup>	
GROSS FLOOR SPACE	112.8 / 113.8 M <sup>2</sup>	90 M <sup>2</sup>	

WIDTHS:			
LIVING / DINING ROOM	PROVIDED:	MIN. REQUIRED:	
BEDROOM 1 (SINGLE)	3.8 M	3.8 M	
BEDROOM 2 (DOUBLE)	2.55 M	2.1 M	
BEDROOM 3 (DOUBLE)	3 M	2.8 M	

\*FIGURES TAKEN FROM SUSTAINABLE URBAN HOUSING: DESIGN STANDARDS FOR NEW APARTMENTS PUBLISHED BY THE DfECLG



**DUPLEX BLOCK TYPE 7—CHARACTER AREA 1**

**NOTES:**  
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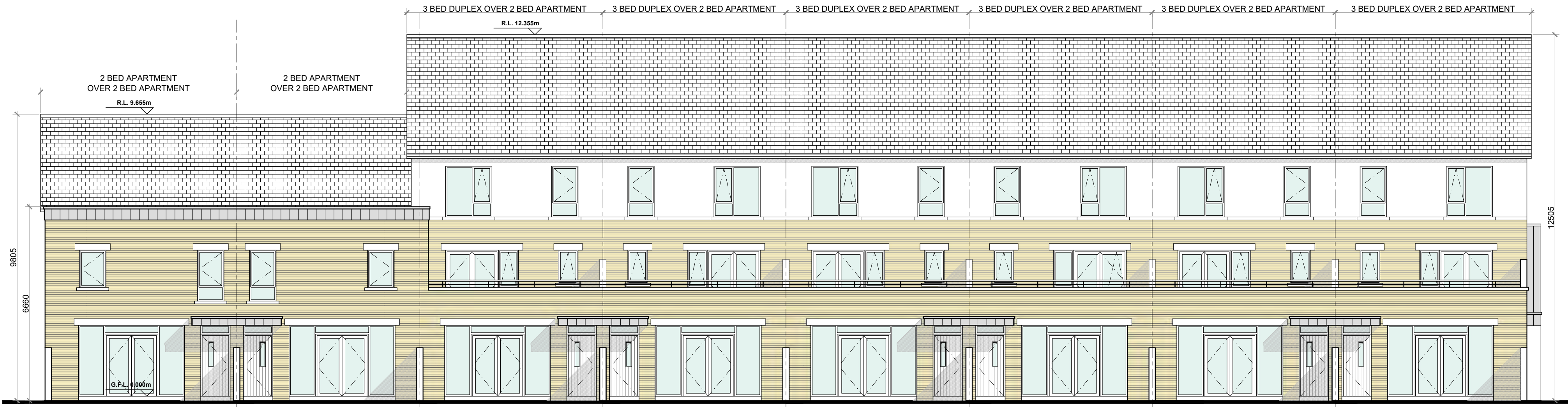


PROJECT: PROPOSED GREAT CONNELL SHD AT NEWBRIDGE, CO. KILDARE	
TITLE: PROPOSED GROUND, FIRST & SECOND FLOOR PLANS OF DUPLEX BLOCK TYPE 7—CHARACTER AREA 1	
CLIENT: ASTON LTD.	STAGE: PLANNING
PROJECT NO.: 19070	DRG. NO.: PA-116 (SHEET 1 OF 2)
SCALE: 1:100	DRAWN: POF
DATE: MARCH 2022	CHECKED: POF





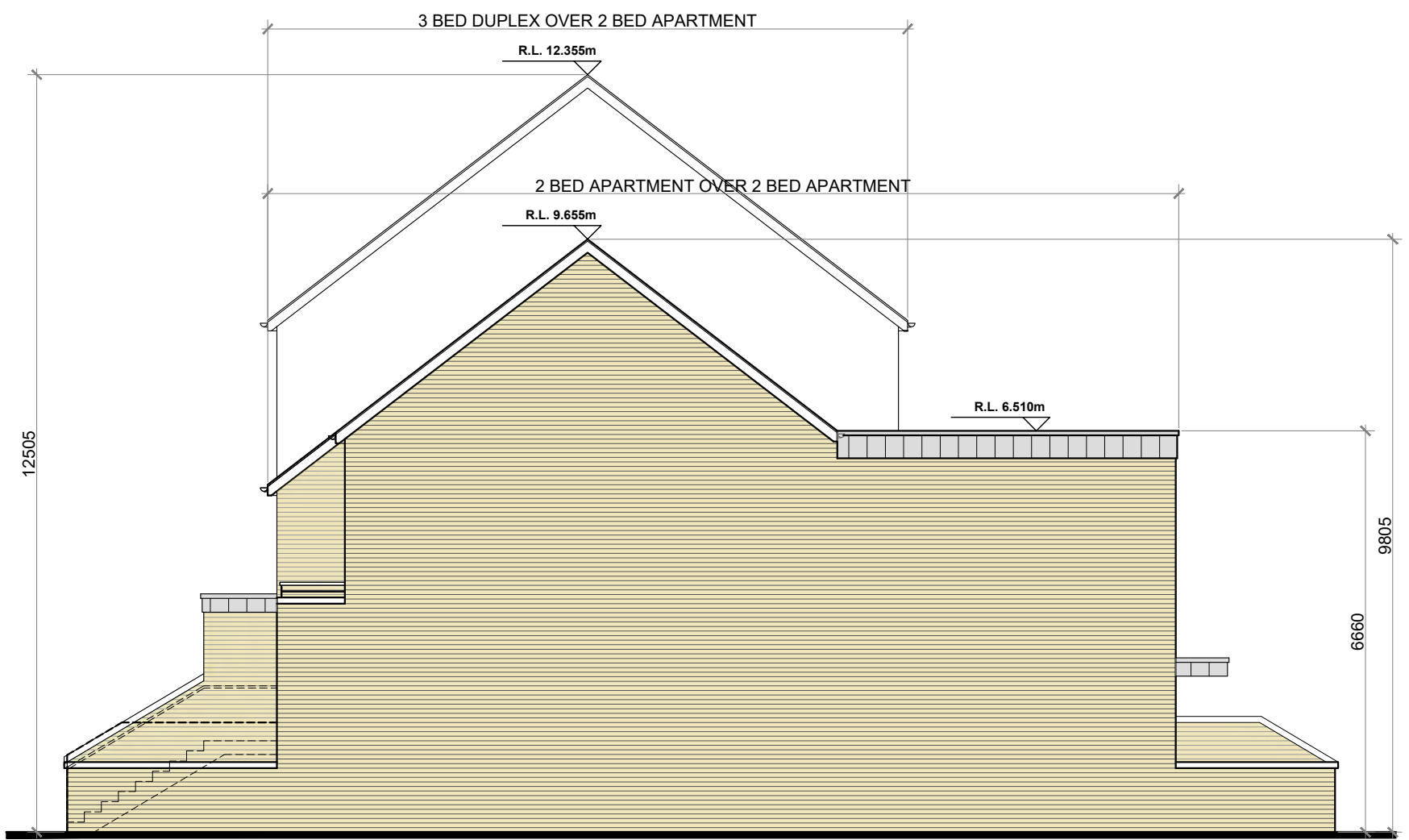
FRONT ELEVATION @ 1:100  
DUPLEX BLOCK TYPE 7



REAR ELEVATION @ 1:100  
DUPLEX BLOCK TYPE 7

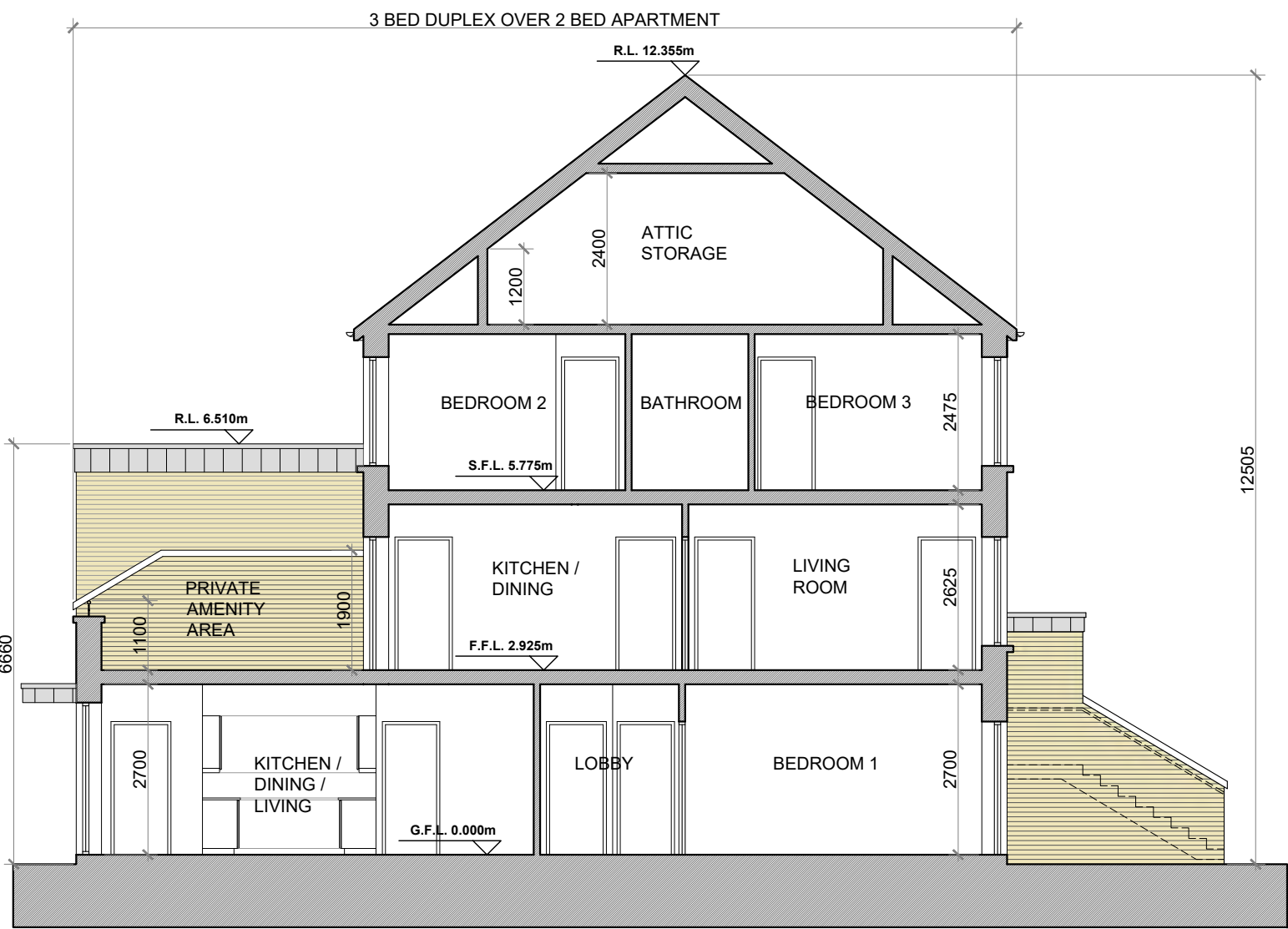


SIDE (DUAL FRONTAGE) ELEVATION @ 1:100  
DUPLEX BLOCK TYPE 7

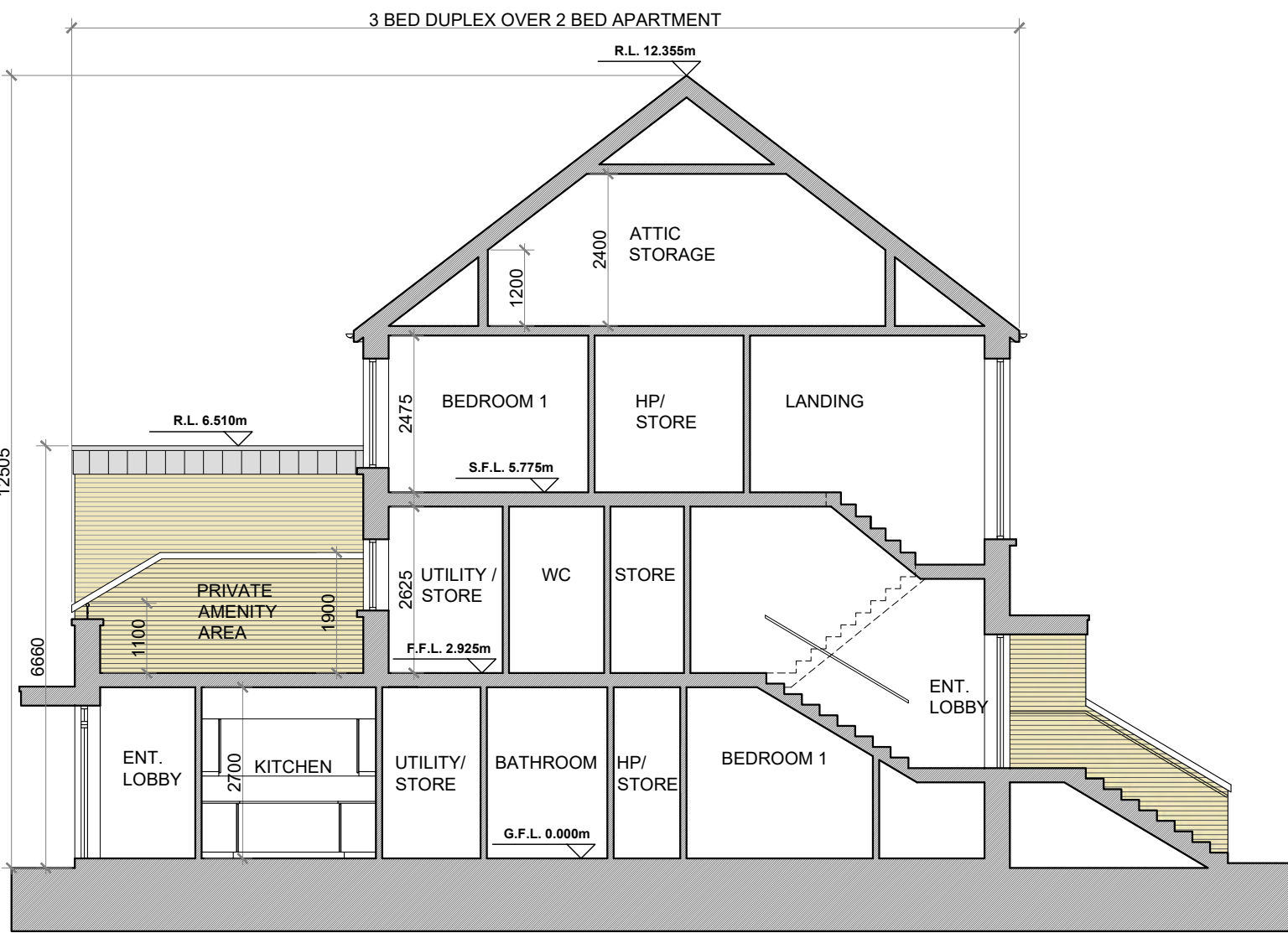


SIDE ELEVATION @ 1:100  
DUPLEX BLOCK TYPE 7

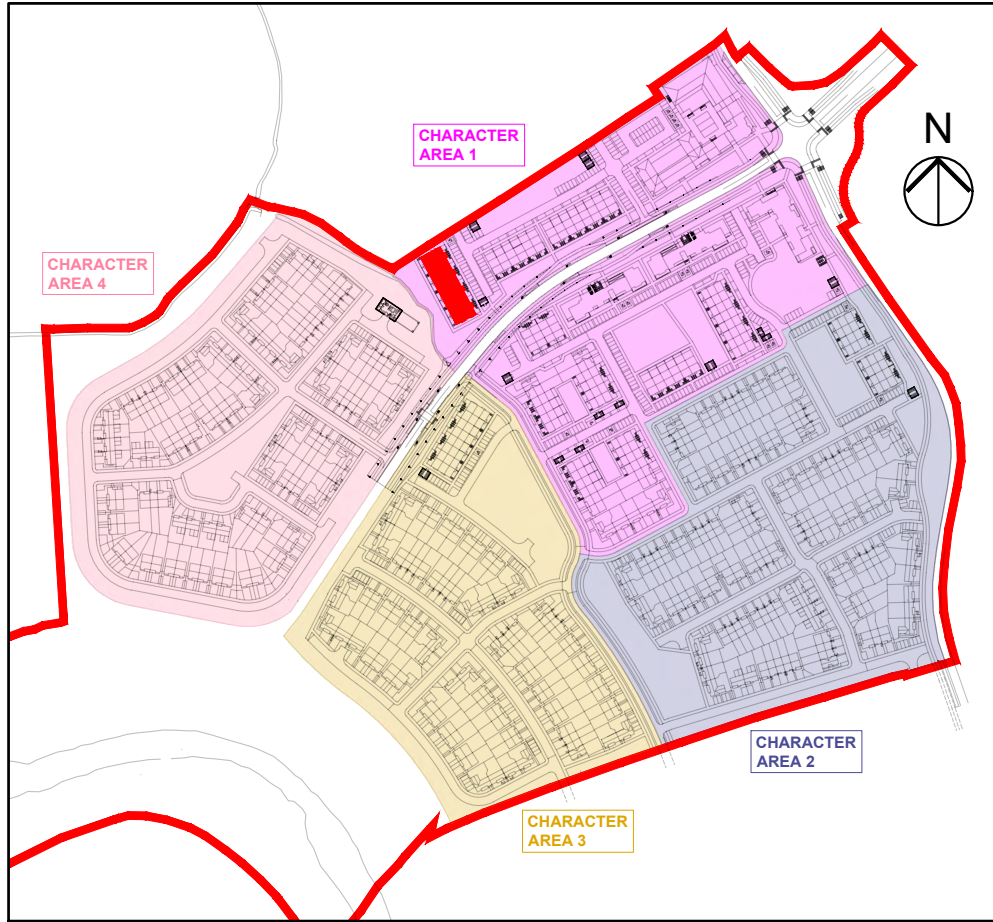
- PROPOSED FINISHES:**
- SLATE / TILED FINISH TO ROOF WITH STANDING SEAM ZINC CLAD FINISH (OR SIMILAR APPROVED) TO FLAT ROOF AREAS & ENTRANCE CANOPIES AS INDICATED.
  - UPVC / ALUMINIUM FINISH TO FASCIAS, GUTTERS AND DOWNPIPES.
  - SELECTED BRICK FINISH TO WALLS AS INDICATED.
  - PLASTER / RENDER FINISH TO WALLS AS INDICATED.
  - STANDING SEAM ZINC CLAD FINISH (OR SIMILAR APPROVED) TO WALLS AS INDICATED.
  - UPVC / ALUMINIUM / TIMBER FINISH TO WINDOWS AND DOORS.
  - PAINTED CONCRETE / STONE SILLS AND CAPPINGS.
  - PLASTER / RENDER FINISH TO PLINTH.



SECTION A-A @ 1:100  
DUPLEX BLOCK TYPE 7



SECTION B-B @ 1:100  
DUPLEX BLOCK TYPE 7



KEY PLAN

DUPLEX BLOCK TYPE 7—CHARACTER AREA 1

**NOTES:**

DO NOT SCALE. USE ONLY FIGURED DIMENSIONS WHICH SHOULD BE CHECKED ON SITE BEFORE WORK COMMENCES.

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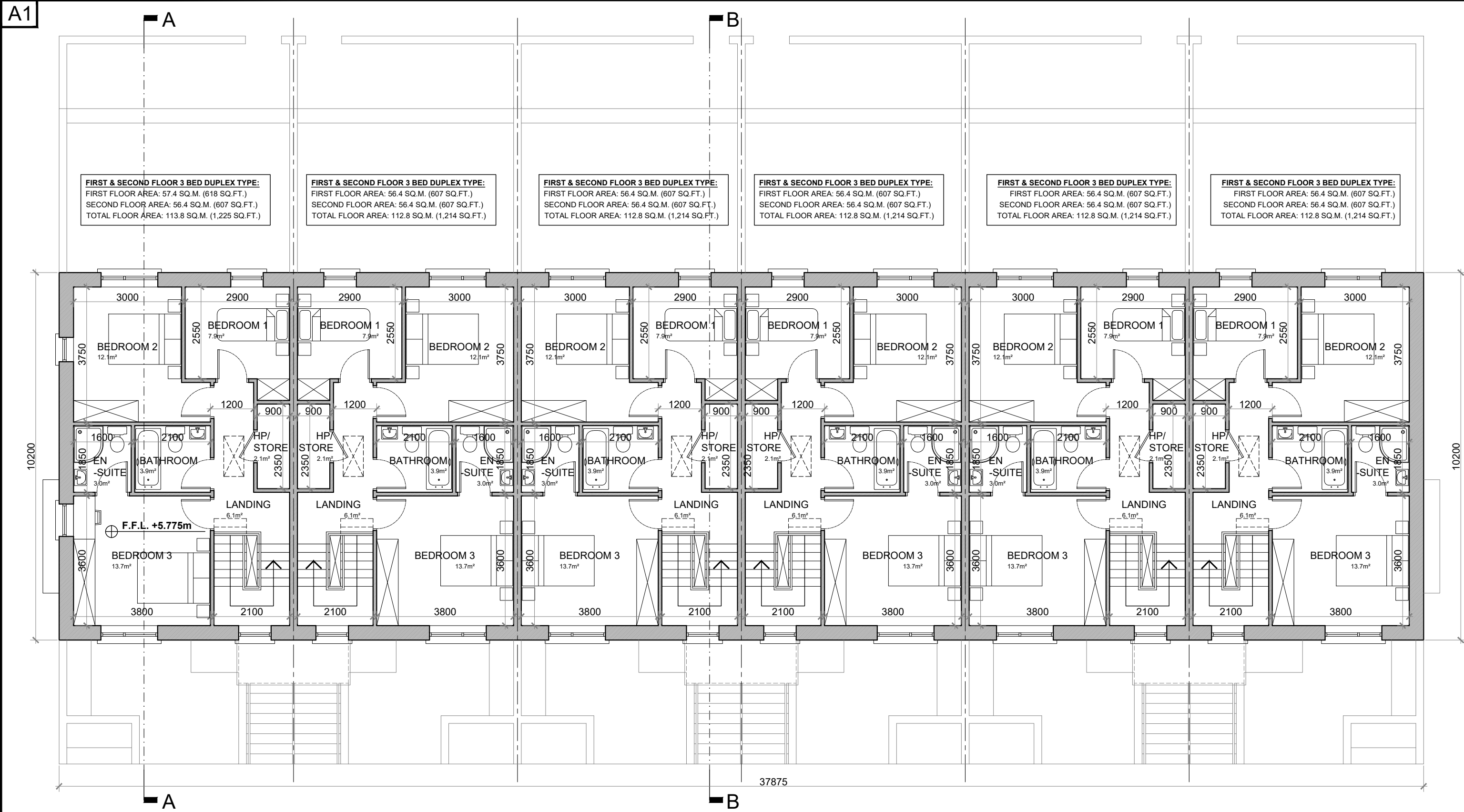
O'FLYNN ARCHITECTS,  
LOWER EYRE STREET,  
CO KILDARE,  
TEL: 085 433400  
EMAIL: info@offlynarchitects.ie  
WEB: www.offlynarchitect.ie

**RIA**

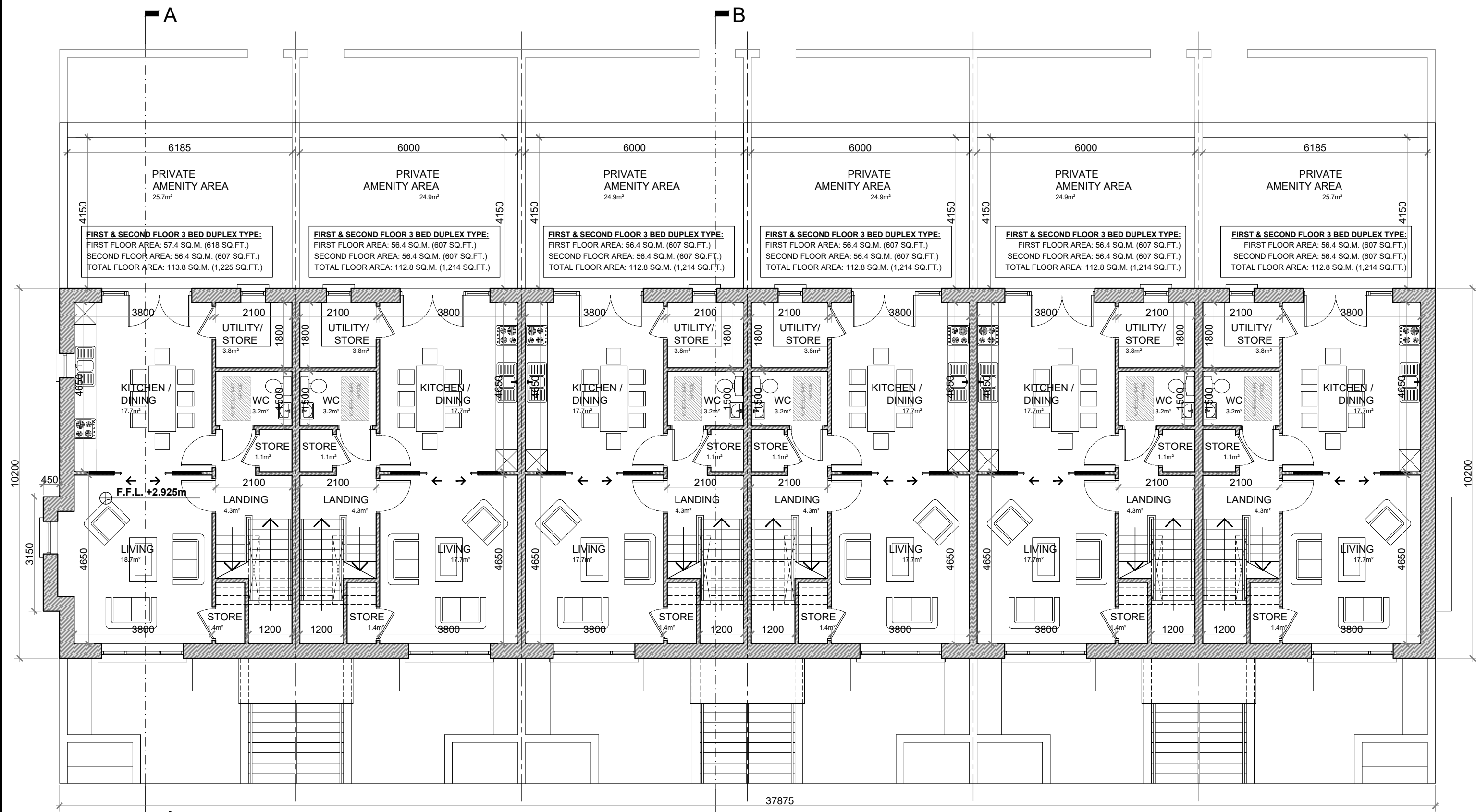
2021

PROJECT:	PROPOSED GREAT CONNELL SHD AT NEWBRIDGE, CO. KILDARE.		
TITLE:	PROPOSED ELEVATIONS & SECTIONS OF DUPLEX BLOCK TYPE 7—CHARACTER AREA 1.		
CLIENT:	ASTON LTD.	STAGE:	PLANNING
PROJECT NO.:	19070	DRG. NO.:	PA-117 (SHEET 2 OF 2)
SCALE:	1:100	DRAWN:	POF
DATE:	MARCH 2022	CHECKED:	POF

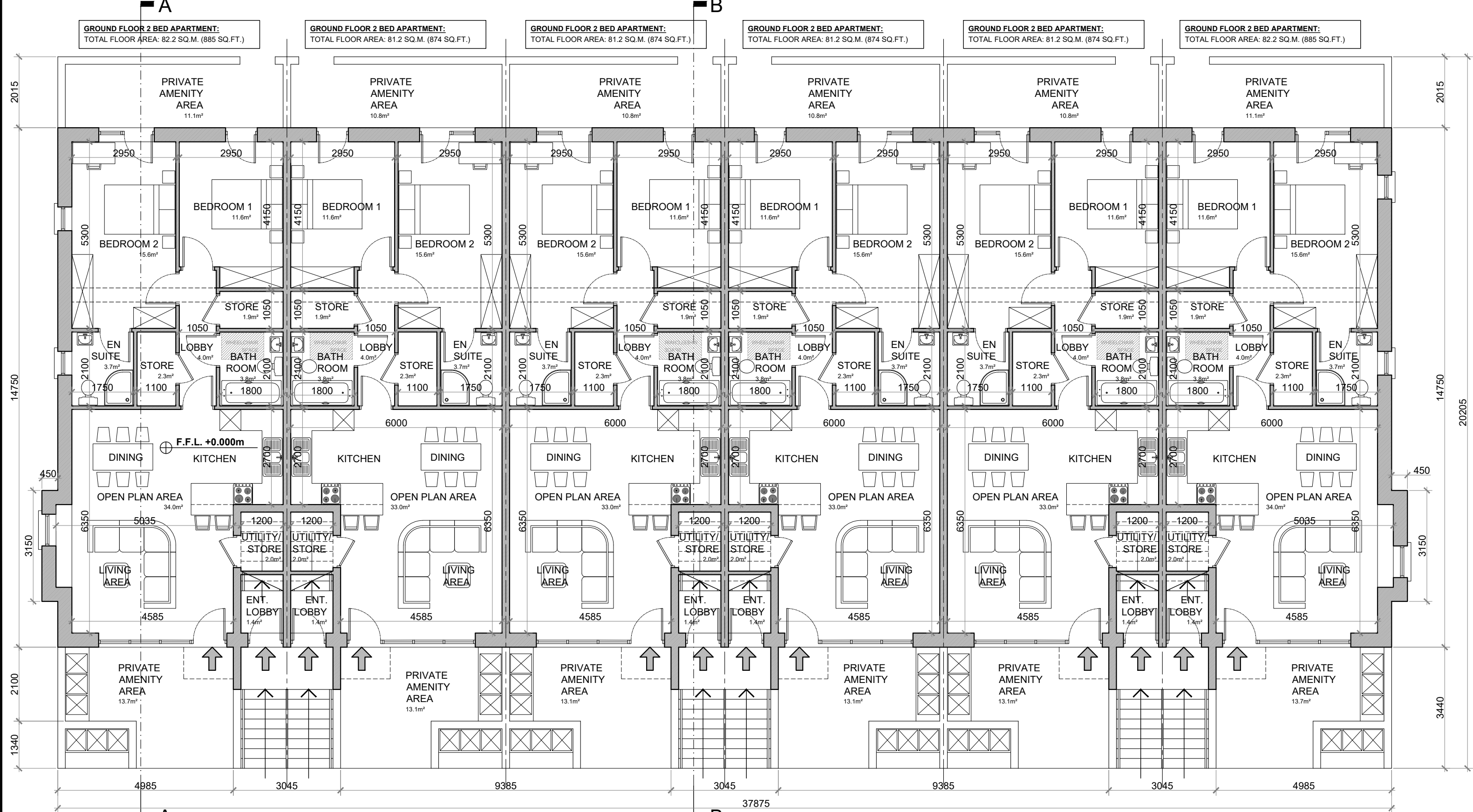




SECOND FLOOR PLAN @ 1:100  
3 BED DUPLEX TYPES  
DUPLEX BLOCK TYPE 8



FIRST FLOOR PLAN @ 1:100  
3 BED DUPLEX TYPES  
DUPLEX BLOCK TYPE 8



GROUND FLOOR PLAN @ 1:100  
2 BED APARTMENT TYPES  
DUPLEX BLOCK TYPE 8

APARTMENT TYPE:

GROUND FLOOR 2 BED APARTMENT—4 PERSON

FLOOR AREA / ROOM WIDTH REQUIREMENTS\*:

AREAS:	PROVIDED:	MIN. REQUIRED:
BEDROOM 1	11.6 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 2 (MAIN)	15.6 M <sup>2</sup>	13 M <sup>2</sup>
AGGREGATE LIVING	33.1 / 34 M <sup>2</sup>	30 M <sup>2</sup>
AGGREGATE BEDROOM	27.2 M <sup>2</sup>	24.4 M <sup>2</sup>
GROSS STORAGE	6.2 M <sup>2</sup>	6 M <sup>2</sup>
PRIVATE AMENITY SPACE	23.9 / 24.8 M <sup>2</sup>	7 M <sup>2</sup>
COMMUNAL AMENITY SPACE	2.7 M <sup>2</sup>	7 M <sup>2</sup>
GROSS FLOOR SPACE	81.2 / 82.2 M <sup>2</sup>	73 M <sup>2</sup>

WIDTHS:	PROVIDED:	MIN. REQUIRED:
LIVING / DINING ROOM	4.585 M	3.6 M
BEDROOM 1 (DOUBLE)	2.95 M	2.8 M
BEDROOM 2 (DOUBLE)	2.95 M	2.8 M

\*FIGURES TAKEN FROM SUSTAINABLE URBAN HOUSING: DESIGN STANDARDS FOR NEW APARTMENTS PUBLISHED BY THE DOECLG.

APARTMENT TYPE:

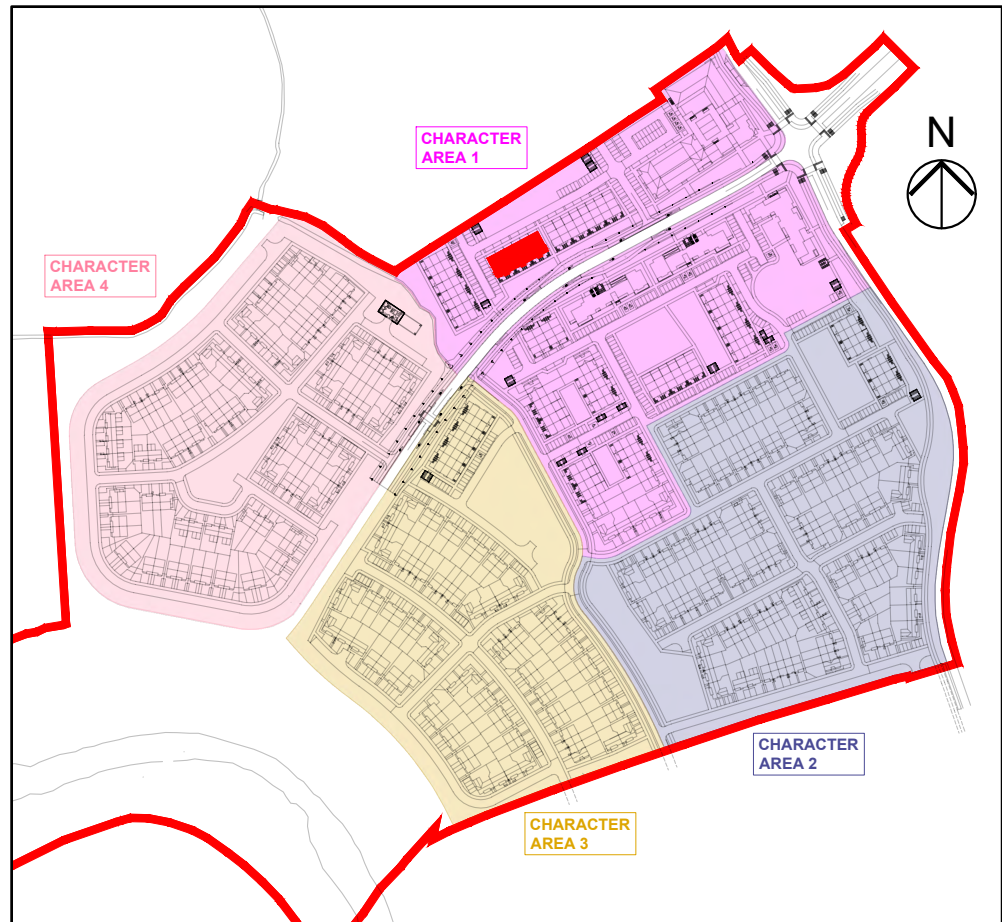
3 BED DUPLEX APARTMENT—5 PERSON

FLOOR AREA / ROOM WIDTH REQUIREMENTS\*:

AREAS:	PROVIDED:	MIN. REQUIRED:
BEDROOM 1	7.9 M <sup>2</sup>	7.1 M <sup>2</sup>
BEDROOM 2	12.1 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 3 (MAIN)	13.7 M <sup>2</sup>	13 M <sup>2</sup>
AGGREGATE LIVING	35.4 / 36.4 M <sup>2</sup>	34 M <sup>2</sup>
AGGREGATE BEDROOM	33.7 M <sup>2</sup>	31.5 M <sup>2</sup>
GROSS STORAGE	11.9 M <sup>2</sup> (INCL. ATTIC) 9 M <sup>2</sup> (KCC 8M <sup>2</sup> )	9 M <sup>2</sup>
PRIVATE AMENITY SPACE	24.9 / 25.7 M <sup>2</sup>	9 M <sup>2</sup>
COMMUNAL AMENITY SPACE	>9 M <sup>2</sup>	9 M <sup>2</sup>
GROSS FLOOR SPACE	112.8 / 113.8 M <sup>2</sup>	90 M <sup>2</sup>

WIDTHS:	PROVIDED:	MIN. REQUIRED:
LIVING / DINING ROOM	3.8 M	3.8 M
BEDROOM 1 (SINGLE)	2.55 M	2.1 M
BEDROOM 2 (DOUBLE)	3 M	2.8 M
BEDROOM 3 (DOUBLE)	3.6 M	2.8 M

\*FIGURES TAKEN FROM SUSTAINABLE URBAN HOUSING: DESIGN STANDARDS FOR NEW APARTMENTS PUBLISHED BY THE DOECLG.



KEY PLAN

DUPLEX BLOCK TYPE 8—CHARACTER AREA 1

NOTES:  
DO NOT SCALE. USE ONLY FIGURED DIMENSIONS WHICH SHOULD BE CHECKED ON SITE BEFORE WORK COMMENCES.  
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PROJECT:	PROPOSED GREAT CONNELL SHD AT NEWBRIDGE, CO. KILDARE.
TITLE:	PROPOSED GROUND, FIRST & SECOND FLOOR PLANS OF DUPLEX BLOCK TYPE 8—CHARACTER AREA 1.
CLIENT:	ASTON LTD.
STAGE:	PLANNING
PROJECT NO.:	19070
DRG. NO.:	PA-118 (SHEET 1 OF 2)
SCALE:	1:100
DATE:	MARCH 2022
DRAWN:	POF
CHECKED:	POF





FRONT ELEVATION @ 1:100  
DUPLEX BLOCK TYPE 8

**PROPOSED FINISHES:**

SLATE / TILED FINISH TO ROOF  
WITH STANDING SEAM ZINC CLAD  
FINISH (OR SIMILAR APPROVED)  
TO FLAT ROOF AREAS &  
ENTRANCE CANOPIES AS  
INDICATED.

UPVC / ALUMINIUM FINISH TO  
FASCIAS, GUTTERS AND  
DOWNPIPES.

SELECTED BRICK FINISH TO  
WALLS AS INDICATED.

PLASTER / RENDER FINISH TO  
WALLS AS INDICATED.

STANDING SEAM ZINC CLAD FINISH  
(OR SIMILAR APPROVED) TO  
WALLS AS INDICATED.

UPVC / ALUMINIUM / TIMBER FINISH  
TO WINDOWS AND DOORS.

PAINTED CONCRETE / STONE  
SILLS AND CAPPINGS.

PLASTER / RENDER FINISH TO  
PLINTH.



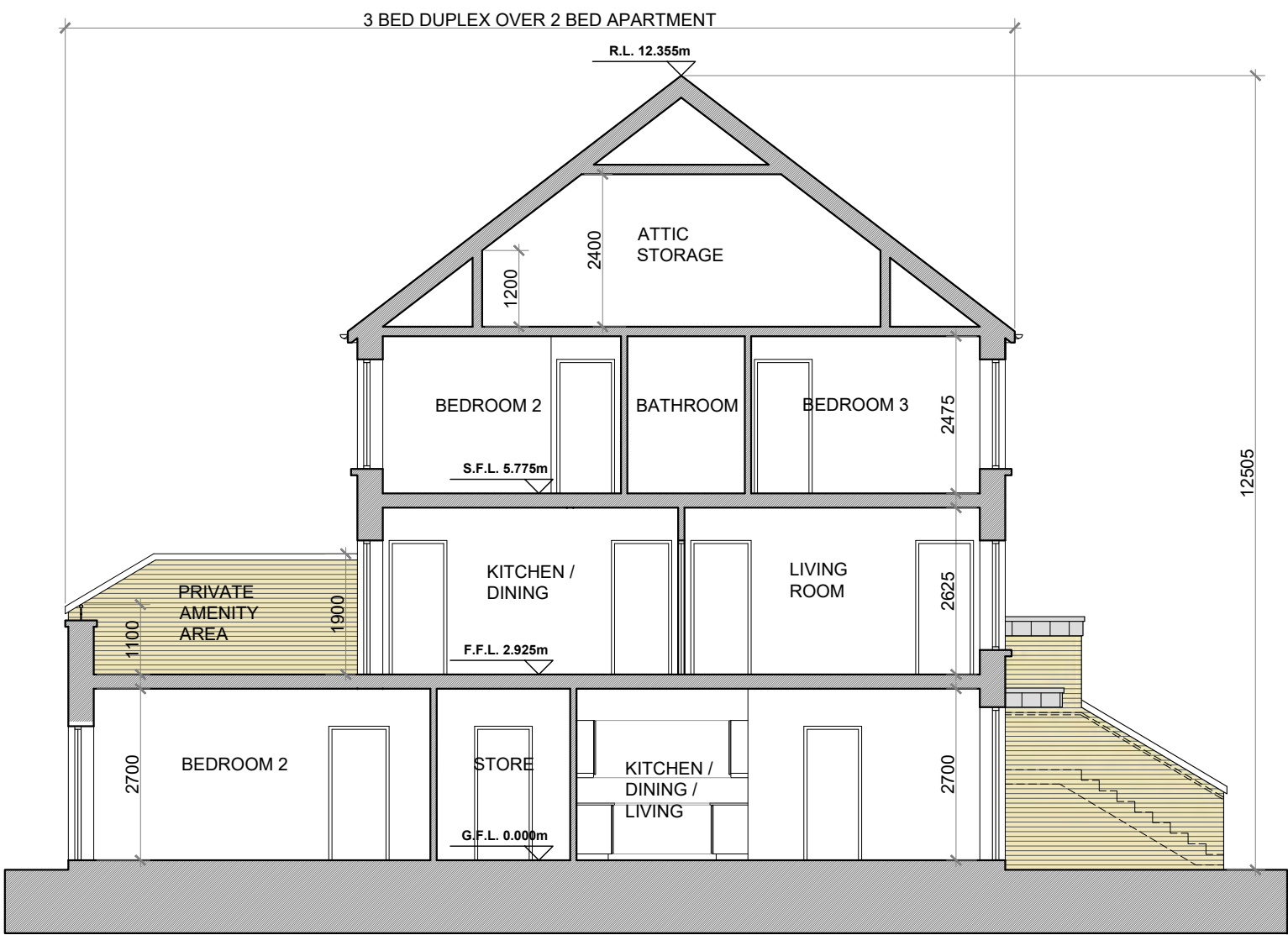
REAR ELEVATION @ 1:100  
DUPLEX BLOCK TYPE 8



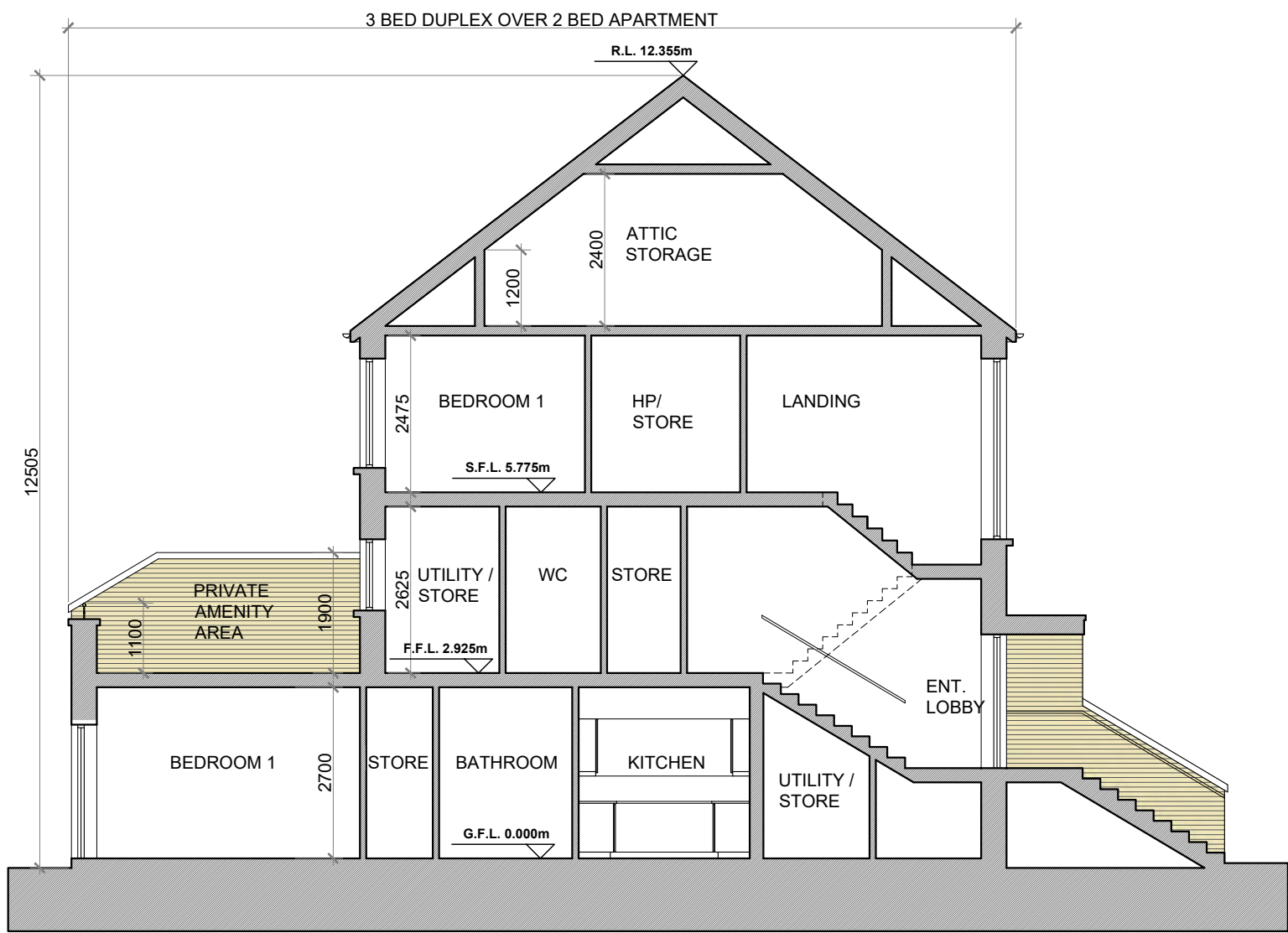
SIDE (DUAL FRONTAGE) ELEVATION @ 1:100  
DUPLEX BLOCK TYPE 8



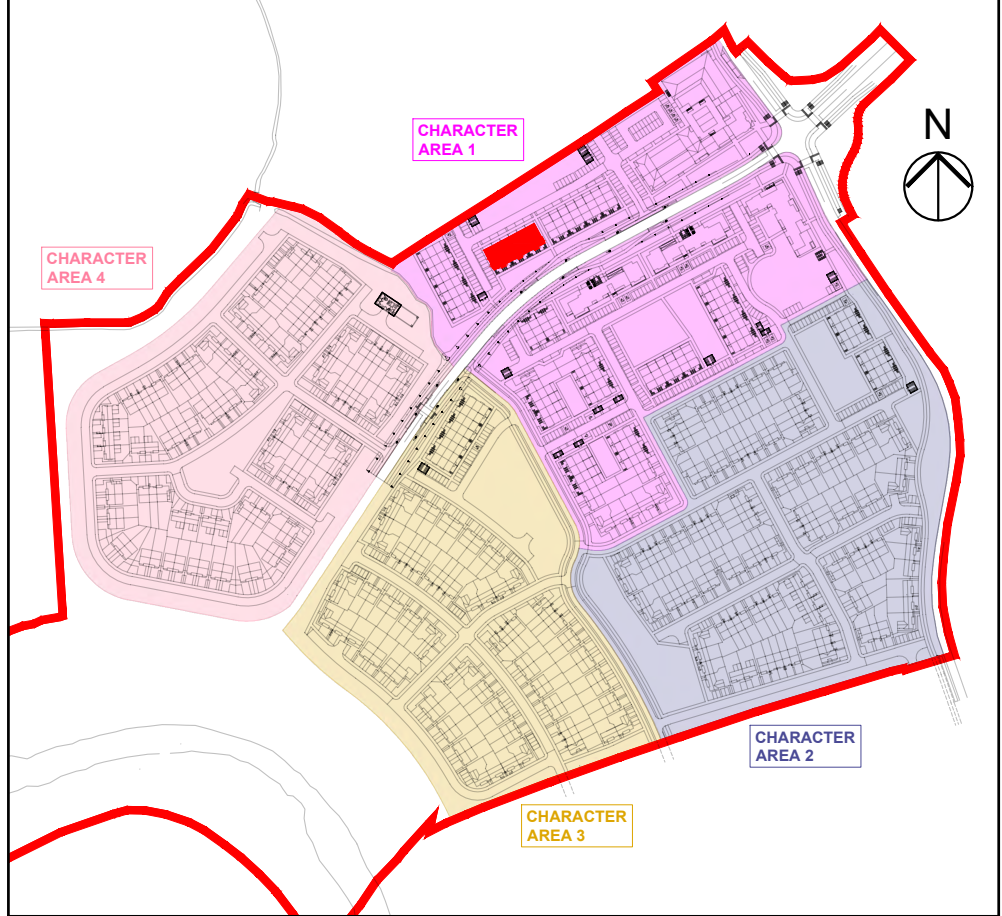
SIDE (DUAL FRONTAGE) ELEVATION @ 1:100  
DUPLEX BLOCK TYPE 8



SECTION A-A @ 1:100  
DUPLEX BLOCK TYPE 8



SECTION B-B @ 1:100  
DUPLEX BLOCK TYPE 8



KEY PLAN

**DUPLEX BLOCK TYPE 8—CHARACTER AREA 1**

**NOTES:**

DO NOT SCALE. USE ONLY FIGURED DIMENSIONS WHICH SHOULD BE  
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**DATE:**

**LEGEND:**

REFER TO THE SITE LAYOUT DRAWING  
FOR THE ORIENTATION AND FLOOR  
LEVELS FOR EACH DWELLING .

**OFA**

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TEL: 045 433400  
EMAIL: info@oflynnarchitects.ie  
WEB: www.oflynnarchitect.ie



PROJECT: PROPOSED GREAT CONNELL SHD AT NEWBRIDGE, CO. KILDARE.

TITLE: PROPOSED ELEVATIONS & SECTIONS OF DUPLEX BLOCK TYPE 8—CHARACTER AREA 1.

CLIENT: ASTON LTD.

STAGE: PLANNING

PROJECT NO.: 19070

DRG. NO.: PA-119 (SHEET 2 OF 2)

SCALE: 1:100  
DATE: MARCH 2022

DRAWN: POF  
CHECKED: POF









FRONT ELEVATION @ 1:100  
DUPLEX BLOCK TYPE 9



REAR ELEVATION @ 1:100  
DUPLEX BLOCK TYPE 9

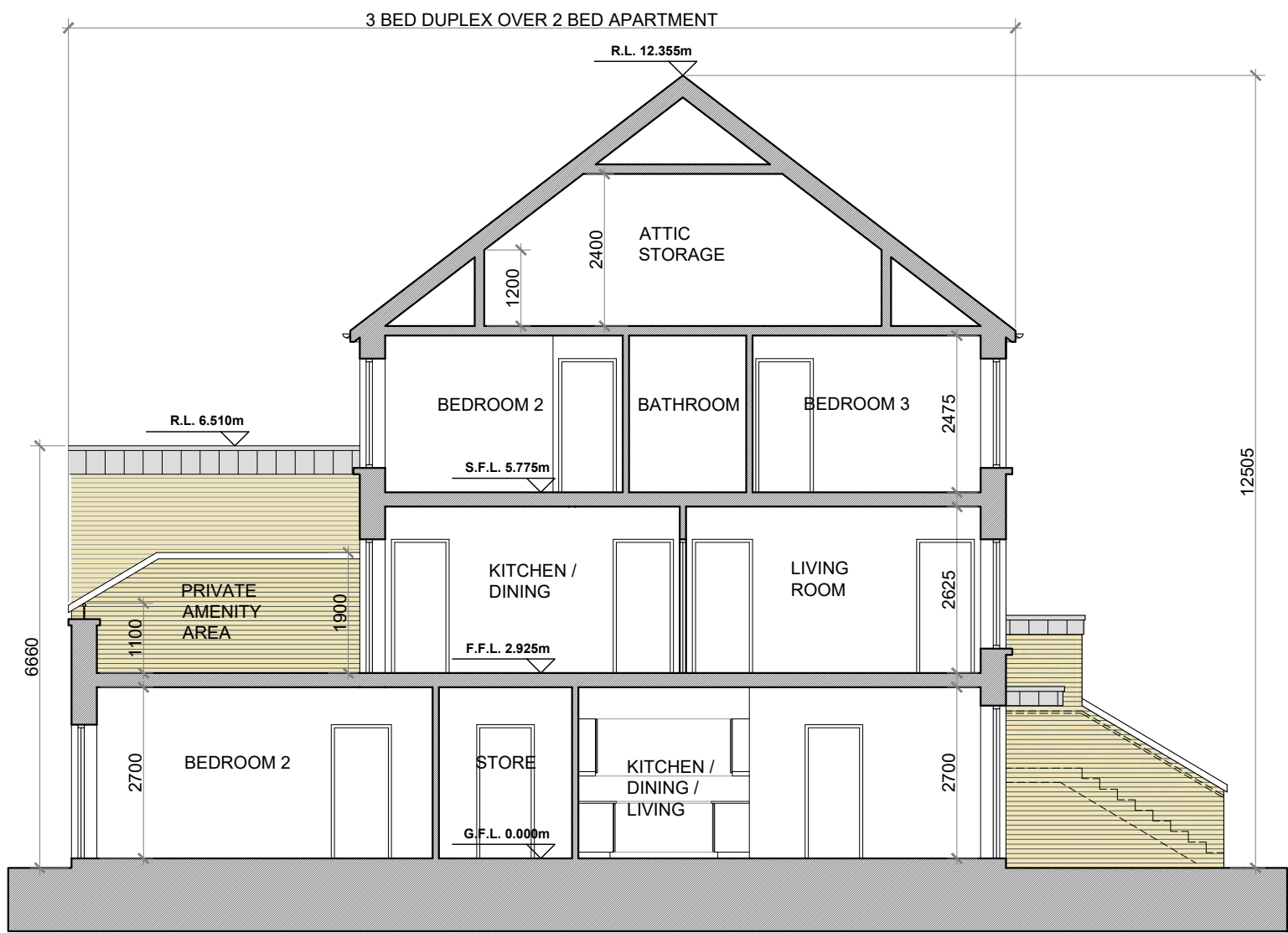


SIDE (DUAL FRONTAGE) ELEVATION @ 1:100  
DUPLEX BLOCK TYPE 9

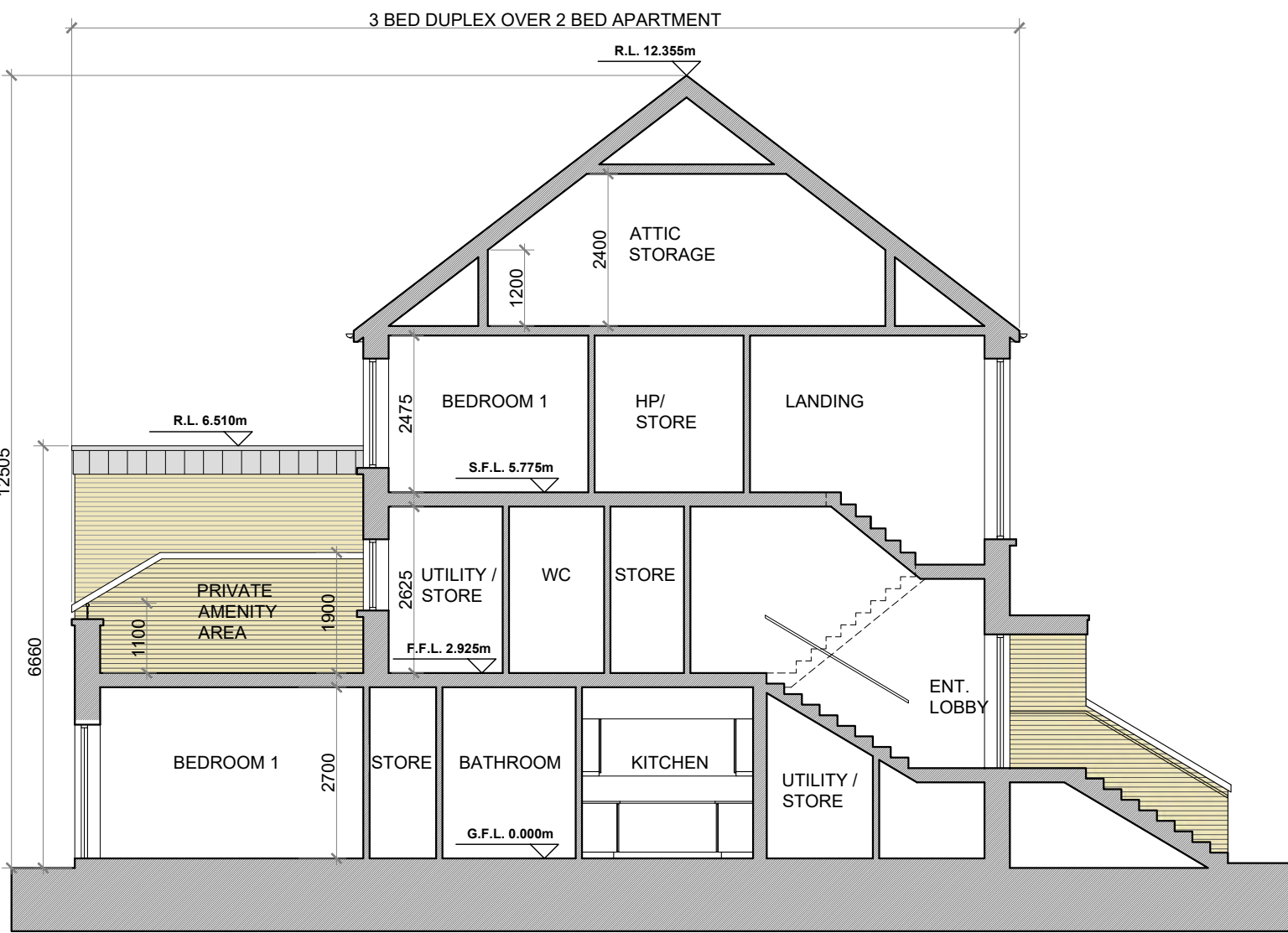


SIDE (DUAL FRONTAGE) ELEVATION @ 1:100  
DUPLEX BLOCK TYPE 9

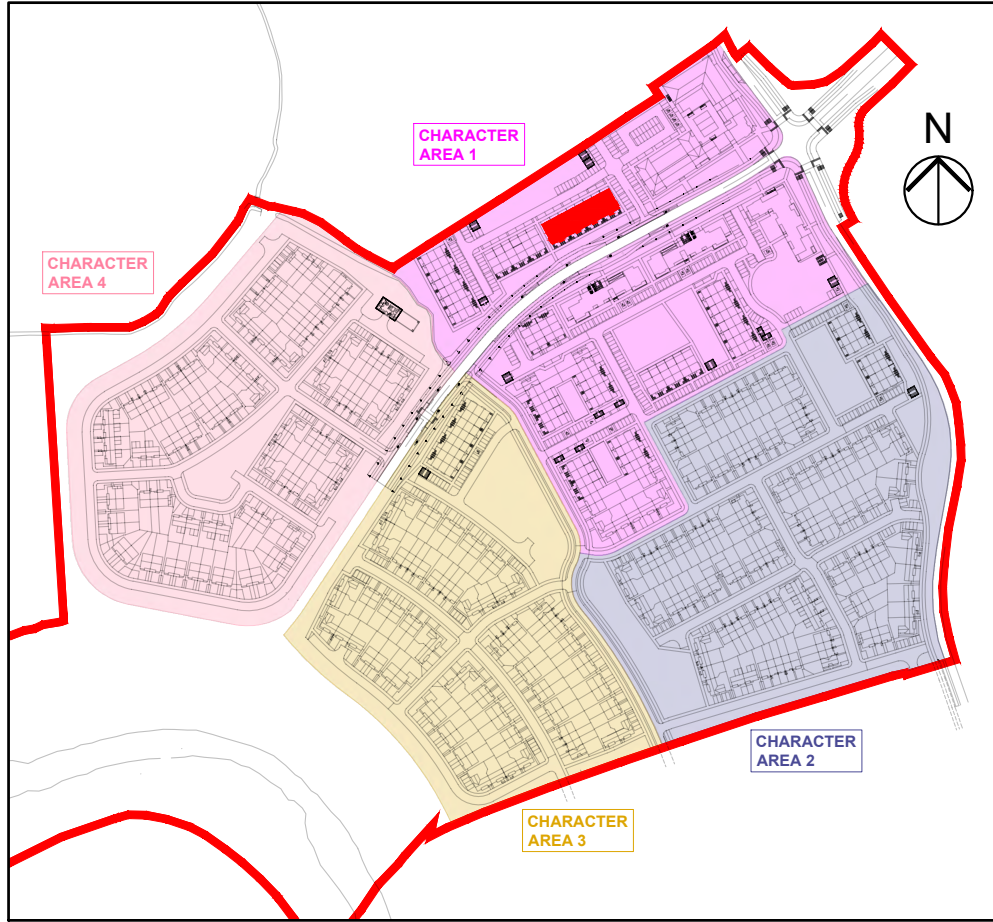
- PROPOSED FINISHES:**
- SLATE / TILED FINISH TO ROOF WITH STANDING SEAM ZINC CLAD FINISH (OR SIMILAR APPROVED) TO FLAT ROOF AREAS & ENTRANCE CANOPIES AS INDICATED.
  - UPVC / ALUMINIUM FINISH TO FASCIA, GUTTERS AND DOWNPIPES.
  - SELECTED BRICK FINISH TO WALLS AS INDICATED.
  - PLASTER / RENDER FINISH TO WALLS AS INDICATED.
  - STANDING SEAM ZINC CLAD FINISH (OR SIMILAR APPROVED) TO WALLS AS INDICATED.
  - UPVC / ALUMINIUM / TIMBER FINISH TO WINDOWS AND DOORS.
  - PAINTED CONCRETE / STONE SILLS AND CAPPINGS.
  - PLASTER / RENDER FINISH TO PLINTH.



SECTION A-A @ 1:100  
DUPLEX BLOCK TYPE 9



SECTION B-B @ 1:100  
DUPLEX BLOCK TYPE 9



KEY PLAN

DUPLEX BLOCK TYPE 9—CHARACTER AREA 1

NOTES:

DO NOT SCALE. USE ONLY FIGURED DIMENSIONS WHICH SHOULD BE CHECKED ON SITE BEFORE WORK COMMENCES.

ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE LATEST BUILDING REGULATIONS.

REFER TO STRUCTURAL ENGINEER'S DRAWINGS AND SPECIFICATION FOR ALL STRUCTURAL WORK.

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NO. REVISIONS:

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DATE:

LEGEND:

REFER TO THE SITE LAYOUT DRAWING FOR THE ORIENTATION AND FLOOR LEVELS FOR EACH DWELLING .

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PROJECT: PROPOSED GREAT CONNELL SHD AT NEWBRIDGE, CO. KILDARE.

TITLE: PROPOSED ELEVATIONS & SECTIONS OF DUPLEX BLOCK TYPE 9—CHARACTER AREA 1.

CLIENT: ASTON LTD.

STAGE: PLANNING

PROJECT NO.: 19070

DRG. NO.: PA-121 (SHEET 2 OF 2)

SCALE: 1:100  
DATE: MARCH 2022

DRAWN: POF  
CHECKED: POF



## 'A1' + 'A7' + 'A13'

## 3 BED APARTMENT (6 PERSON)

## FLOOR AREA / ROOM WIDTH REQUIREMENTS\*:

AREAS:	PROVIDED:	MIN. REQUIRED:
BEDROOM 1 (MAIN)	14.8 M <sup>2</sup>	13 M <sup>2</sup>
BEDROOM 2	13.5 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 3	11.4 M <sup>2</sup>	11.4 M <sup>2</sup>
AGGREGATE LIVING	36.8 M <sup>2</sup>	34 M <sup>2</sup>
AGGREGATE BEDROOM	39.7 M <sup>2</sup>	31.5 M <sup>2</sup>
GROSS STORAGE	9.2 M <sup>2</sup>	9 M <sup>2</sup>
PRIVATE AMENITY SPACE	23.6 M <sup>2</sup> MIN.	9 M <sup>2</sup>
COMMUNAL AMENITY SPACE	>9 M <sup>2</sup>	9 M <sup>2</sup>
GROSS FLOOR SPACE	114 M <sup>2</sup>	90 M <sup>2</sup>

WIDTHS:	PROVIDED:	MIN. REQUIRED:
LIVING / DINING ROOM	4 M	3.8 M
BEDROOM 1 (DOUBLE)	3.7 M	2.8 M
BEDROOM 2 (DOUBLE)	3.0 M	2.8 M
BEDROOM 2 (DOUBLE)	3.0 M	2.8 M

\*FIGURES TAKEN FROM SUSTAINABLE URBAN HOUSING: DESIGN STANDARDS FOR NEW APARTMENTS PUBLISHED BY THE DOECLG.

## 'A2' + 'A8' + 'A14' + 'A19'

## 2 BED APARTMENT (4 PERSON)

## FLOOR AREA / ROOM WIDTH REQUIREMENTS\*:

AREAS:	PROVIDED:	MIN. REQUIRED:
BEDROOM 1 (MAIN)	13.2 M <sup>2</sup>	13 M <sup>2</sup>
BEDROOM 2	13.3 M <sup>2</sup>	11.4 M <sup>2</sup>
AGGREGATE LIVING	33.6 M <sup>2</sup>	30 M <sup>2</sup>
AGGREGATE BEDROOM	26.5 M <sup>2</sup>	24.4 M <sup>2</sup>
GROSS STORAGE	6.1 M <sup>2</sup> MIN.	6 M <sup>2</sup>
PRIVATE AMENITY SPACE	10.9 M <sup>2</sup> MIN.	7 M <sup>2</sup>
COMMUNAL AMENITY SPACE	>7 M <sup>2</sup>	7 M <sup>2</sup>
GROSS FLOOR SPACE	86.3 M <sup>2</sup>	73 M <sup>2</sup>

WIDTHS:	PROVIDED:	MIN. REQUIRED:
LIVING / DINING ROOM	4 M	3.6 M
BEDROOM 1 (DOUBLE)	3.1 M	2.8 M
BEDROOM 2 (DOUBLE)	3.3 M	2.8 M

\*FIGURES TAKEN FROM SUSTAINABLE URBAN HOUSING: DESIGN STANDARDS FOR NEW APARTMENTS PUBLISHED BY THE DOECLG.

## 'A5' + 'A11' + 'A17'

## 2 BED APARTMENT (4 PERSON)

## FLOOR AREA / ROOM WIDTH REQUIREMENTS\*:

AREAS:	PROVIDED:	MIN. REQUIRED:
BEDROOM 1 (MAIN)	14.0 M <sup>2</sup>	13 M <sup>2</sup>
BEDROOM 2	12.9 M <sup>2</sup>	11.4 M <sup>2</sup>
AGGREGATE LIVING	30.0 M <sup>2</sup>	30 M <sup>2</sup>
AGGREGATE BEDROOM	26.9 M <sup>2</sup>	24.4 M <sup>2</sup>
GROSS STORAGE	6.0 M <sup>2</sup> MIN.	6 M <sup>2</sup>
PRIVATE AMENITY SPACE	22.6 M <sup>2</sup> MIN.	7 M <sup>2</sup>
COMMUNAL AMENITY SPACE	>7 M <sup>2</sup>	7 M <sup>2</sup>
GROSS FLOOR SPACE	80.3 M <sup>2</sup>	73 M <sup>2</sup>

WIDTHS:	PROVIDED:	MIN. REQUIRED:
LIVING / DINING ROOM	4 M	3.6 M
BEDROOM 1 (DOUBLE)	3.0 M	2.8 M
BEDROOM 2 (DOUBLE)	3.0 M	2.8 M

\*FIGURES TAKEN FROM SUSTAINABLE URBAN HOUSING: DESIGN STANDARDS FOR NEW APARTMENTS PUBLISHED BY THE DOECLG.

## 'A6' + 'A12' + 'A18'

## 2 BED APARTMENT (4 PERSON)

## FLOOR AREA / ROOM WIDTH REQUIREMENTS\*:

AREAS:	PROVIDED:	MIN. REQUIRED:
BEDROOM 1 (MAIN)	13.1 M <sup>2</sup>	13 M <sup>2</sup>
BEDROOM 2	11.4 M <sup>2</sup>	11.4 M <sup>2</sup>
AGGREGATE LIVING	31.2 M <sup>2</sup>	30 M <sup>2</sup>
AGGREGATE BEDROOM	24.5 M <sup>2</sup>	24.4 M <sup>2</sup>
GROSS STORAGE	6.0 M <sup>2</sup> MIN.	6 M <sup>2</sup>
PRIVATE AMENITY SPACE	7.6 M <sup>2</sup> MIN.	7 M <sup>2</sup>
COMMUNAL AMENITY SPACE	>7 M <sup>2</sup>	7 M <sup>2</sup>
GROSS FLOOR SPACE	81.3 M <sup>2</sup>	73 M <sup>2</sup>

WIDTHS:	PROVIDED:	MIN. REQUIRED:
LIVING / DINING ROOM	4 M	3.6 M
BEDROOM 1 (DOUBLE)	3.0 M	2.8 M
BEDROOM 2 (DOUBLE)	3.0 M	2.8 M

\*FIGURES TAKEN FROM SUSTAINABLE URBAN HOUSING: DESIGN STANDARDS FOR NEW APARTMENTS PUBLISHED BY THE DOECLG.

## 'A22'

## 2 BED APARTMENT (4 PERSON)

## FLOOR AREA / ROOM WIDTH REQUIREMENTS\*:

AREAS:	PROVIDED:	MIN. REQUIRED:
BEDROOM 1 (MAIN)	14.0 M <sup>2</sup>	13 M <sup>2</sup>
BEDROOM 2	13.4 M <sup>2</sup>	11.4 M <sup>2</sup>
AGGREGATE LIVING	31.6 M <sup>2</sup>	30 M <sup>2</sup>
AGGREGATE BEDROOM	27.4 M <sup>2</sup>	24.4 M <sup>2</sup>
GROSS STORAGE	7.5 M <sup>2</sup> MIN.	6 M <sup>2</sup>
PRIVATE AMENITY SPACE	22.6 M <sup>2</sup> MIN.	7 M <sup>2</sup>
COMMUNAL AMENITY SPACE	>6 M <sup>2</sup>	6 M <sup>2</sup>
GROSS FLOOR SPACE	83.6 M <sup>2</sup>	73 M <sup>2</sup>

WIDTHS:	PROVIDED:	MIN. REQUIRED:
LIVING / DINING ROOM	4 M	3.6 M
BEDROOM 1 (DOUBLE)	3.0 M	2.8 M
BEDROOM 2 (DOUBLE)	3.0 M	2.8 M

\*FIGURES TAKEN FROM SUSTAINABLE URBAN HOUSING: DESIGN STANDARDS FOR NEW APARTMENTS PUBLISHED BY THE DOECLG.

## 'A9' + 'A15' + 'A20'

## 2 BED APARTMENT (3 PERSON)

## FLOOR AREA / ROOM WIDTH REQUIREMENTS\*:

AREAS:	PROVIDED:	MIN. REQUIRED:
BEDROOM 1 (MAIN)	13.0 M <sup>2</sup>	13 M <sup>2</sup>
BEDROOM 2	7.2 M <sup>2</sup>	7.1 M <sup>2</sup>
AGGREGATE LIVING	28.0 M <sup>2</sup>	28 M <sup>2</sup>
AGGREGATE BEDROOM	20.2 M <sup>2</sup>	20.1 M <sup>2</sup>
GROSS STORAGE	5.6 M <sup>2</sup> MIN.	5 M <sup>2</sup>
PRIVATE AMENITY SPACE	7.2 M <sup>2</sup> MIN.	7 M <sup>2</sup>
COMMUNAL AMENITY SPACE	>6 M <sup>2</sup>	6 M <sup>2</sup>
GROSS FLOOR SPACE	67.1 M <sup>2</sup>	63 M <sup>2</sup>

WIDTHS:	PROVIDED:	MIN. REQUIRED:
LIVING / DINING ROOM	4 M	3.6 M
BEDROOM 1 (DOUBLE)	3.2 M	2.8 M
BEDROOM 2 (SINGLE)	2.2 M	2.1 M

\*FIGURES TAKEN FROM SUSTAINABLE URBAN HOUSING: DESIGN STANDARDS FOR NEW APARTMENTS PUBLISHED BY THE DOECLG.

## 'A4' + 'A10' + 'A16' + 'A21'

## 1 BED APARTMENT (2 PERSON)

## FLOOR AREA / ROOM WIDTH REQUIREMENTS\*:

AREAS:	PROVIDED:	MIN. REQUIRED:
BEDROOM 1 (MAIN)	11.8 M <sup>2</sup>	11.4 M <sup>2</sup>
AGGREGATE LIVING	23.0 M <sup>2</sup>	23 M <sup>2</sup>
AGGREGATE BEDROOM	11.8 M <sup>2</sup>	11.4 M <sup>2</sup>
GROSS STORAGE	3.0 M <sup>2</sup>	3 M <sup>2</sup>
PRIVATE AMENITY SPACE	5.7 M <sup>2</sup>	5 M <sup>2</sup>
COMMUNAL AMENITY SPACE	>5 M <sup>2</sup>	5 M <sup>2</sup>
GROSS FLOOR SPACE	46.8 M <sup>2</sup>	45 M <sup>2</sup>

WIDTHS:	PROVIDED:	MIN. REQUIRED:
LIVING / DINING ROOM	3.3 M	3.3 M
BEDROOM 1 (DOUBLE)	3.2 M	2.8 M

\*FIGURES TAKEN FROM SUSTAINABLE URBAN HOUSING: DESIGN STANDARDS FOR NEW APARTMENTS PUBLISHED BY THE DOECLG.

## APARTMENT TYPE:

## 'A3'

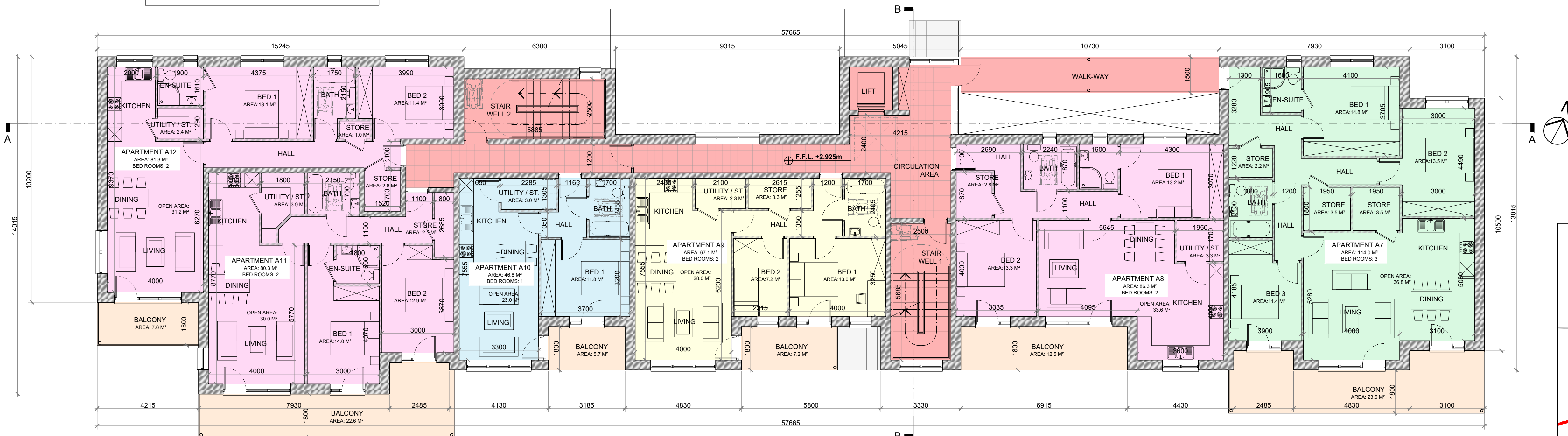
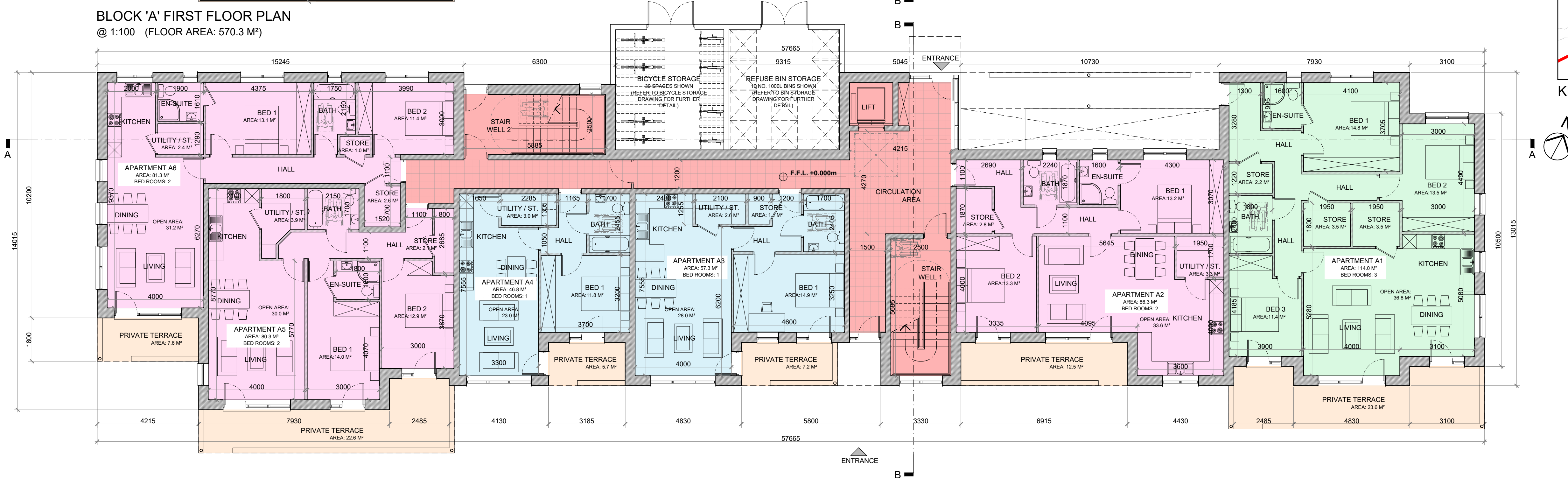
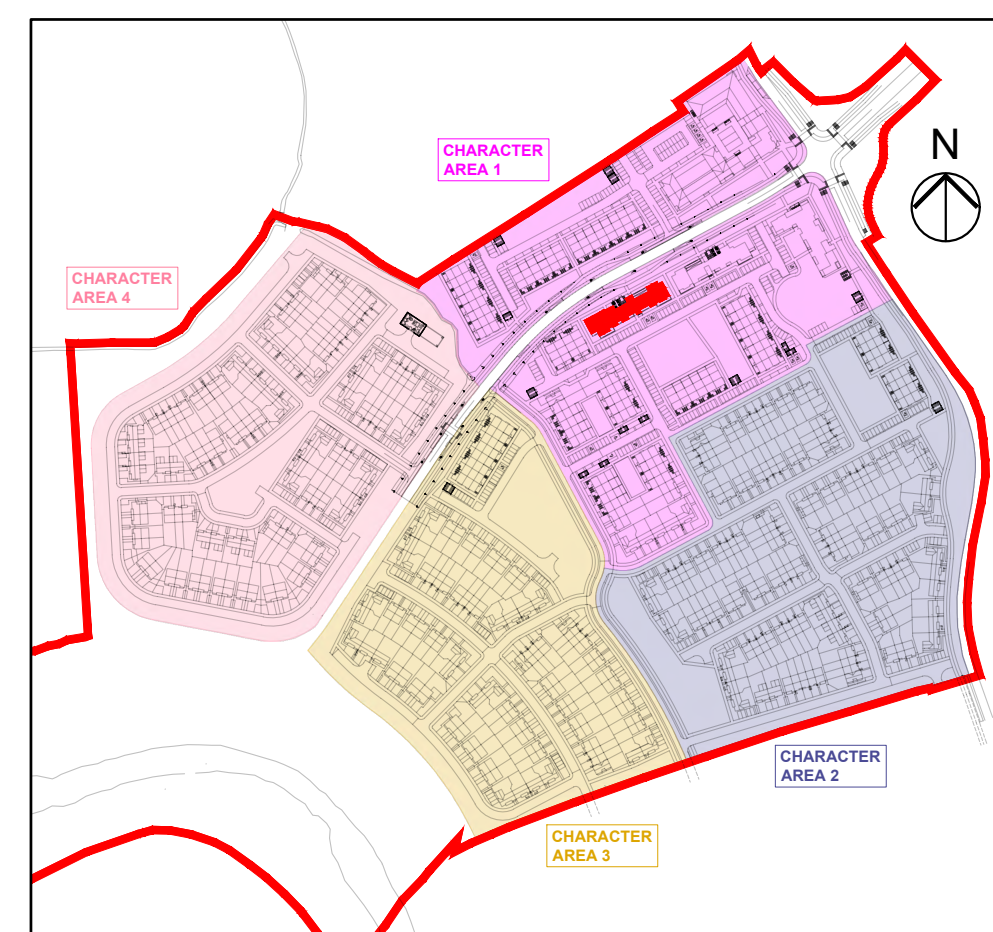
## 1 BED APARTMENT (2 PERSON)

## FLOOR AREA / ROOM WIDTH REQUIREMENTS\*:

AREAS:	PROVIDED:	MIN. REQUIRED:
BEDROOM 1 (MAIN)	14.9 M <sup>2</sup>	11.4 M <sup>2</sup>
AGGREGATE LIVING	28.0 M <sup>2</sup>	23 M <sup>2</sup>
AGGREGATE BEDROOM	14.9 M <sup>2</sup>	11.4 M <sup>2</sup>
GROSS STORAGE	3.7 M <sup>2</sup>	3 M <sup>2</sup>
PRIVATE AMENITY SPACE	6.0 M <sup>2</sup>	5 M <sup>2</sup>
COMMUNAL AMENITY SPACE	>5 M <sup>2</sup>	5 M <sup>2</sup>
GROSS FLOOR SPACE	57.3 M <sup>2</sup>	45 M <sup>2</sup>

WIDTHS:	PROVIDED:	MIN. REQUIRED:
LIVING / DINING ROOM	4.0 M	3.3 M
BEDROOM 1 (DOUBLE)	3.2 M	2.8 M

\*FIGURES TAKEN FROM SUSTAINABLE URBAN HOUSING: DESIGN STANDARDS FOR NEW APARTMENTS PUBLISHED BY THE DOECLG.

BLOCK 'A' FIRST FLOOR PLAN  
@ 1:100 (FLOOR AREA: 570.3 M<sup>2</sup>)BLOCK 'A' GROUND FLOOR PLAN  
@ 1:100 (FLOOR AREA: 570.3 M<sup>2</sup>)

KEY PLAN

REFER TO THE SITE LAYOUT DRAWING FOR THE FINISHED FLOOR LEVEL FOR THE BLOCK.

## LEGEND:

3 BED APARTMENT:	
2 BED APARTMENT: (4 PERSON)	
2 BED APARTMENT: (3 PERSON)	
1 BED APARTMENT:	
CIRCULATION: (LIFT SHAFT, STAIRWELL, CORRIDOR ETC.)	
PRIVATE AMENITY SPACE:	

## NOTES:

DO NOT SCALE. USE ONLY FIGURED DIMENSIONS WHICH SHOULD BE CHECKED ON SITE BEFORE WORK COMMENCES.

ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE LATEST BUILDING REGULATIONS.

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G			O	

## LEGEND:

## OFA

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PROJECT: PROPOSED GREAT CONNELL SHD AT NEWBRIDGE, CO. KILDARE.

TITLE: PROPOSED GROUND &amp; FIRST FLOOR PLANS FOR APARTMENT BLOCK 'A'.

CLIENT: ASTON LTD.

STAGE: PLANNING

PROJECT NO.: 19070

DRG. NO.: PA-130 (SHEET 1 OF 3)

SCALE: 1:100

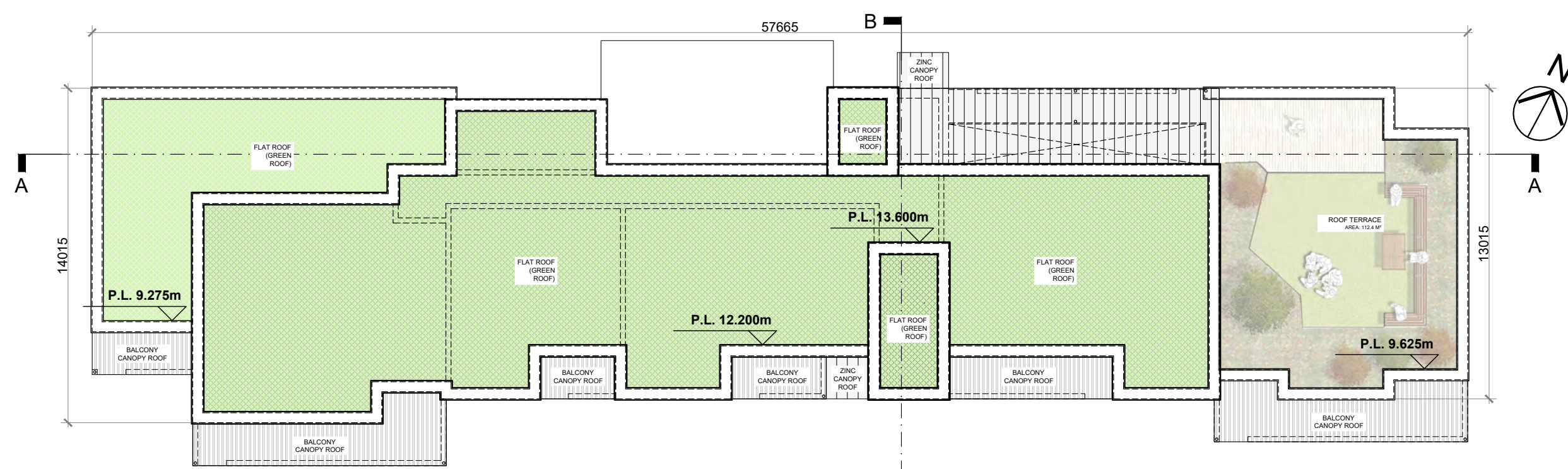
DRAWN: POF

DATE: MARCH 2022

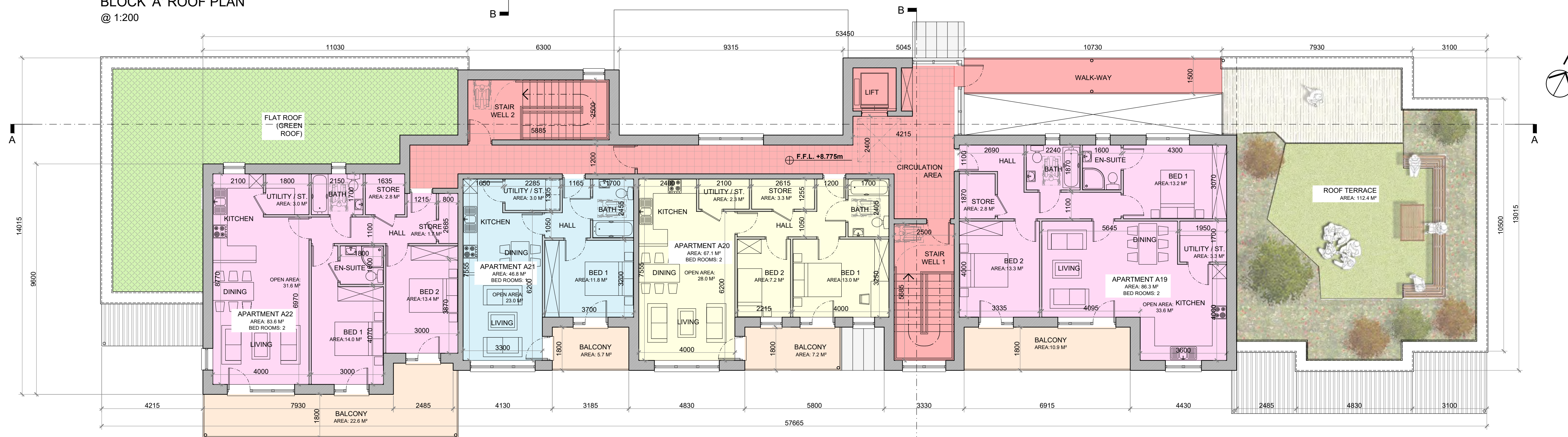
CHECKED: POF

## APARTMENT BLOCK 'A'

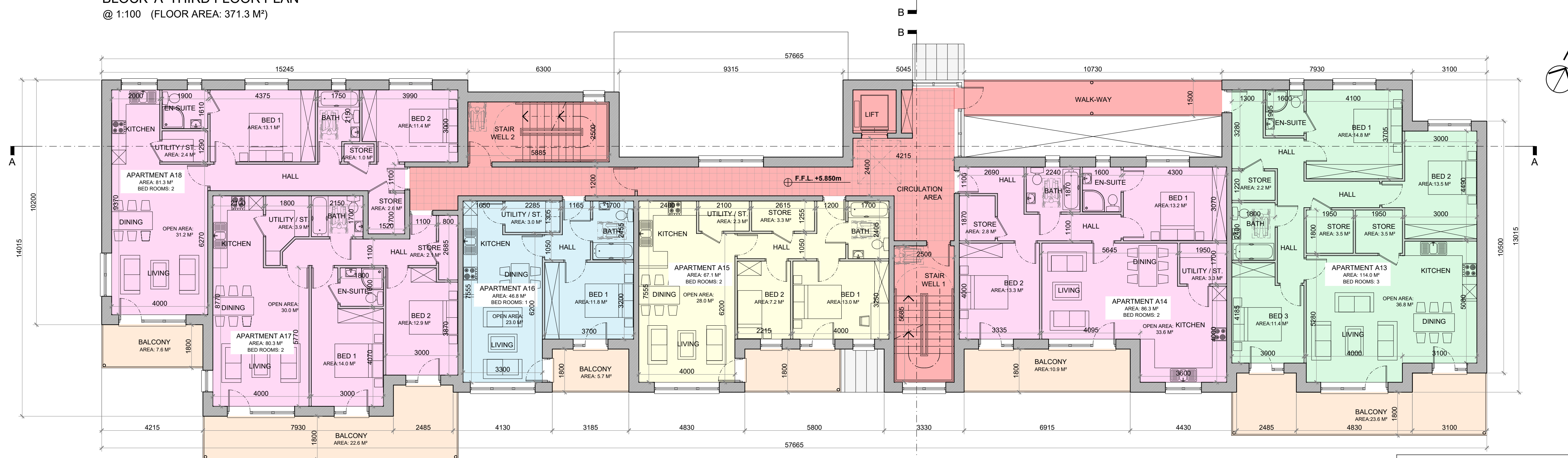




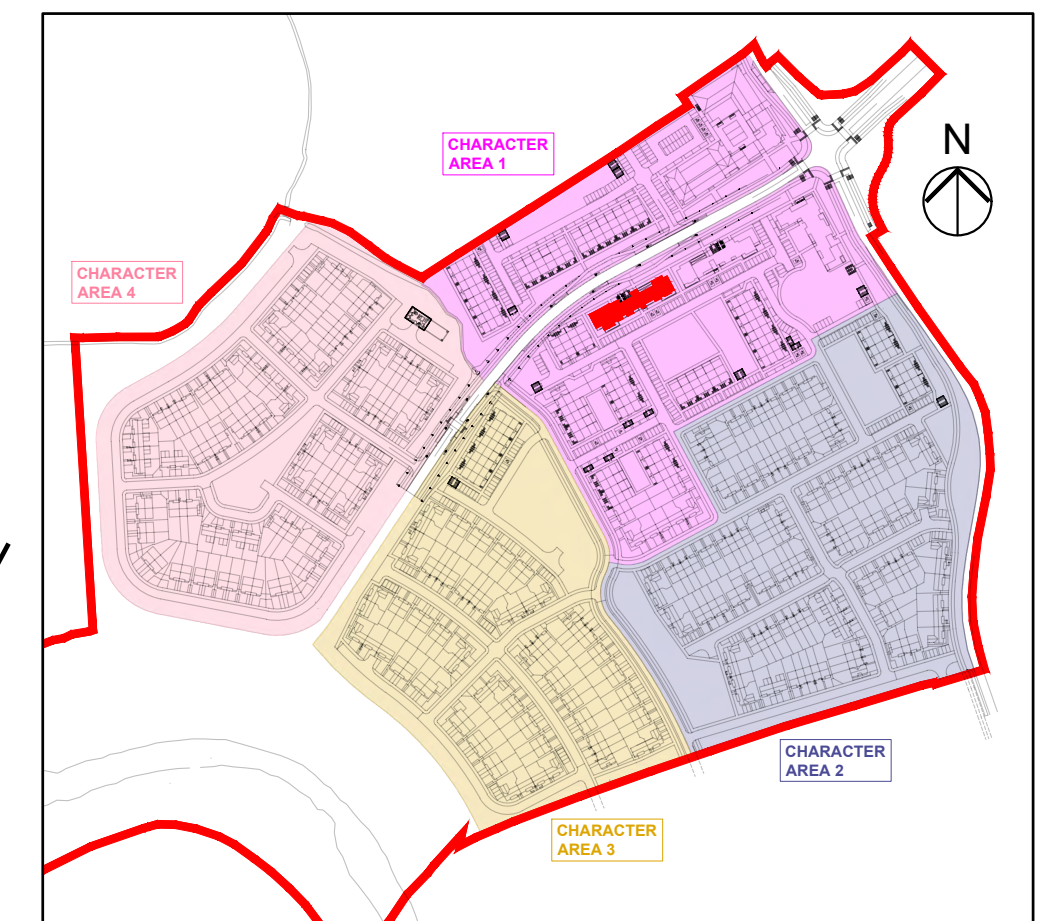
BLOCK 'A' ROOF PLAN  
@ 1:200



BLOCK 'A' THIRD FLOOR PLAN  
@ 1:100 (FLOOR AREA: 371.3 M²)



BLOCK 'A' SECOND FLOOR PLAN  
@ 1:100 (FLOOR AREA: 570.3 M²)



KEY PLAN

REFER TO THE SITE LAYOUT DRAWING FOR THE FINISHED FLOOR LEVEL FOR THE BLOCK.

LEGEND:	
3 BED APARTMENT:	
2 BED APARTMENT: (4 PERSON)	
2 BED APARTMENT: (3 PERSON)	
1 BED APARTMENT:	
CIRCULATION: (LIFT SHAFT, STAIRWELL, CORRIDOR ETC.)	
PRIVATE AMENITY SPACE:	
COMMUNAL AMENITY SPACE:	

#### NOTES:

DO NOT SCALE. USE ONLY FIGURED DIMENSIONS WHICH SHOULD BE CHECKED ON SITE BEFORE WORK COMMENCES.

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G			O	

#### LEGEND:

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PROJECT: PROPOSED GREAT CONNELL SHD AT NEWBRIDGE, CO. KILDARE.

TITLE: PROPOSED 2ND & 3RD FLOOR & ROOF PLANS FOR APARTMENT BLOCK 'A'.

CLIENT: ASTON LTD.

STAGE: PLANNING

PROJECT NO.: 19070

DRG. NO.: PA-131 (SHEET 2 OF 3)

SCALE: 1:100, 1:200

DRAWN: POF

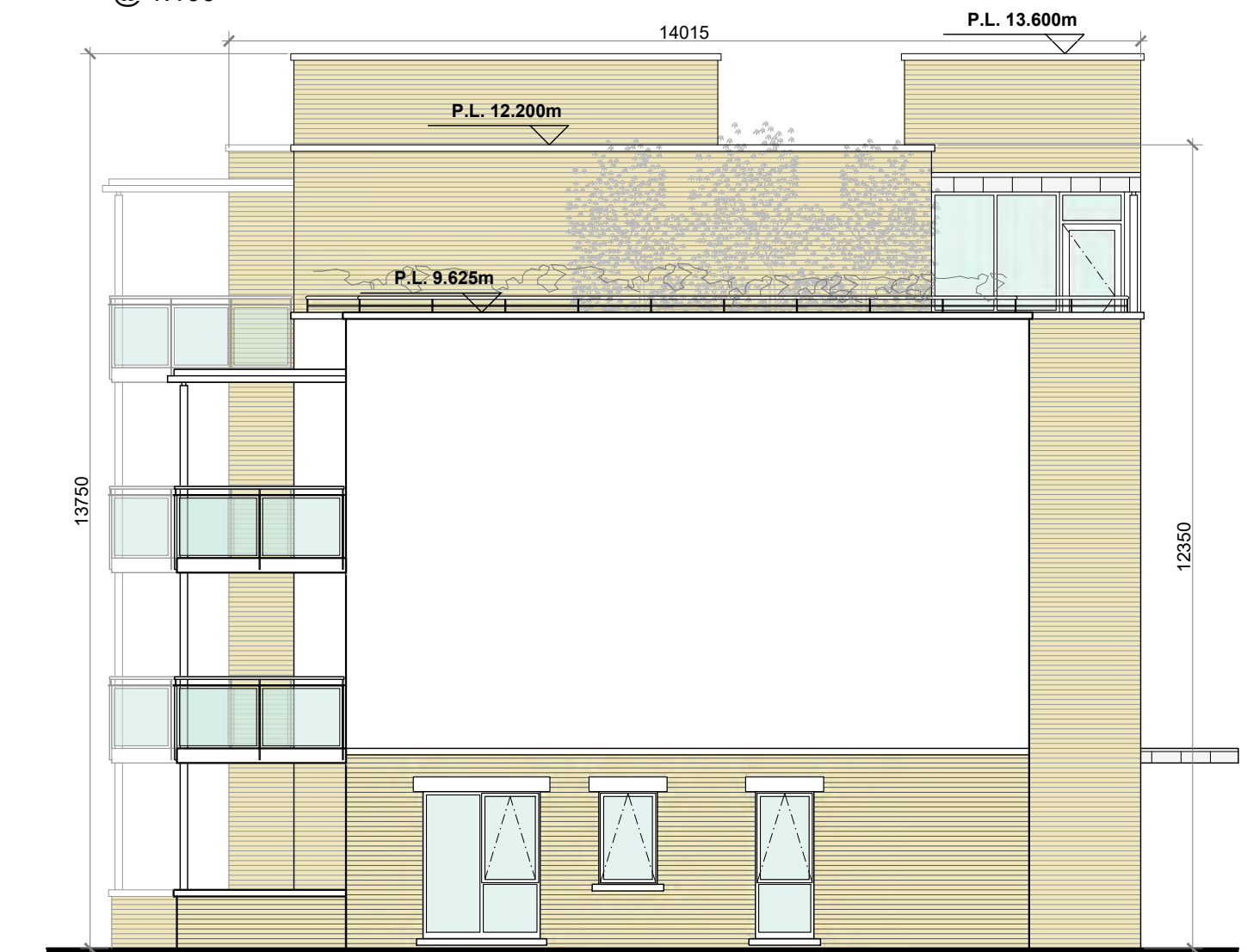
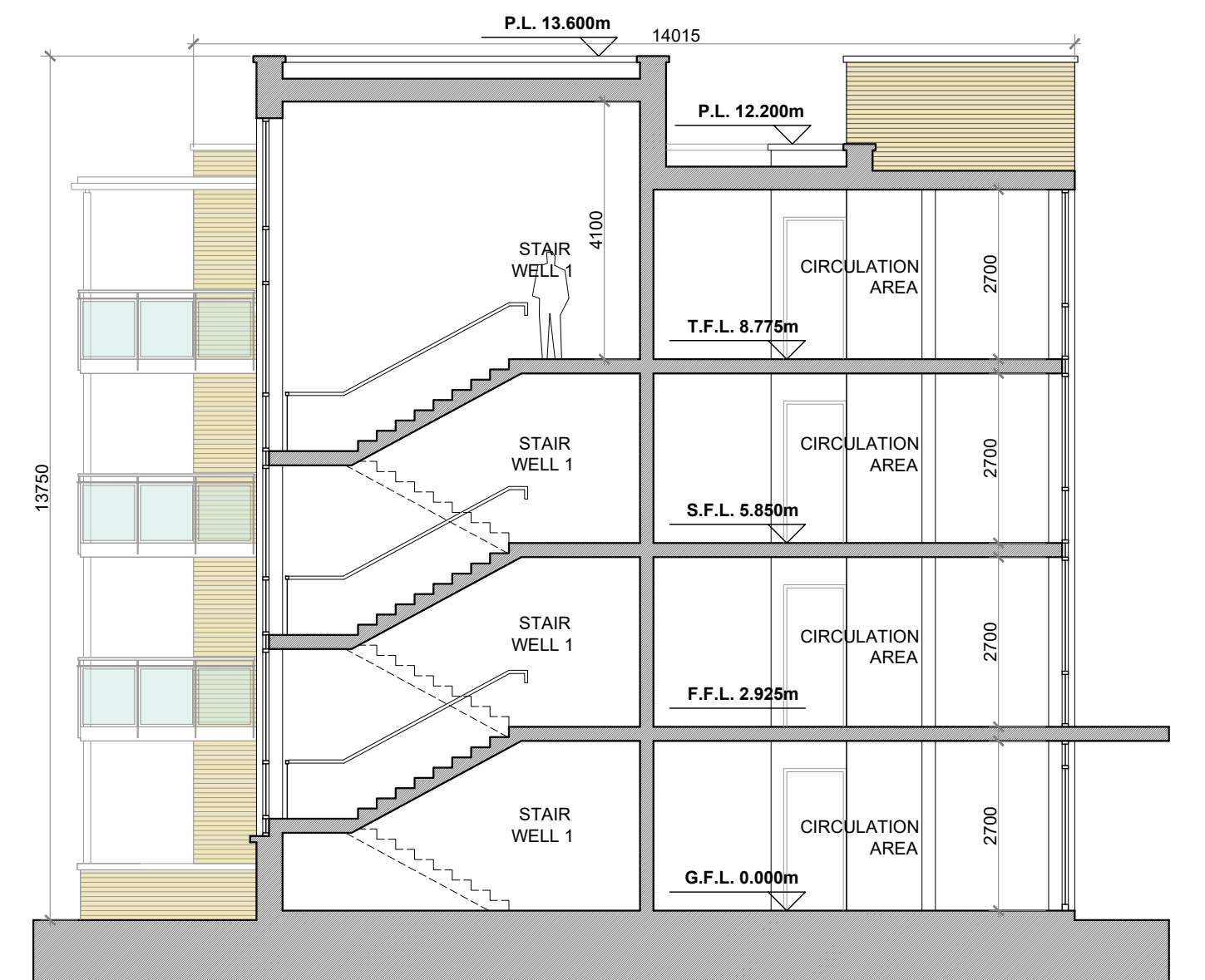
DATE: MARCH 2022

CHECKED: POF

APARTMENT BLOCK 'A'



A1

BLOCK 'A' (SOUTH-EAST) ELEVATION  
@ 1:100BLOCK 'A' (SOUTH-WEST) ELEVATION  
@ 1:100BLOCK 'A' (NORTH-WEST) ELEVATION  
@ 1:100BLOCK 'A' (NORTH-EAST) ELEVATION  
@ 1:100BLOCK 'A' SECTION A-A  
@ 1:100BLOCK 'A' SECTION B-B  
@ 1:100

## APARTMENT BLOCK 'A'

## NOTES:

DO NOT SCALE. USE ONLY FIGURED DIMENSIONS WHICH SHOULD BE CHECKED ON SITE BEFORE WORK COMMENCES.

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## DATE:

## PROPOSED FINISHES:

TROCAL / GREEN ROOF FINISH TO FLAT ROOF OR EQUAL & APPROVED (E&A). ALL MAIN FLAT ROOF AREAS ARE CONCEALED FROM VIEW. ROOF PARAPETS TO BE CAPPED WITH POWDER COATED ALUMINIUM CAPPING / CONCRETE / STONE CAPPING OR STANDING SEAM ZINC / SELECTED METAL CLADDING. ENTRANCE CANOPY ROOF / BALCONY ROOFS TO BE CLAD WITH STANDING SEAM ZINC / SELECTED METAL CLADDING. UPVC / ALUMINIUM FINISH TO GUTTERS AND DOWNPIPES.

BALCONIES TO HAVE PRIMARY STRUCTURE OF GALVANISED AND POWDER-COATED MILD STEEL. COLUMNS TO BE CIRCULAR SECTION. BALCONY FLOOR TO BE TREATED TIMBER DECKING OR E&A. UPRIGHTS AND BALUSTRADE STRUCTURE TO BE FABRICATED FROM GALVANISED AND POWDER-COATED MILD STEEL FLATS OR E&A. HANDRAIL TO BE CIRCULAR HARDWOOD SECTION OR E&A. INFILL TO BE TOUGHENED AND LAMINATED GLASS. PRIVACY SCREENS AT ENDS OF BALCONIES TO BE MILK-WHITE OPAQUE TOUGHENED AND LAMINATED GLASS HELD IN GALVANISED AND POWDER-COATED MILD STEEL FRAMES FIXED TO WALL. HEIGHT OF PRIVACY SCREENS TO BE 2.1M OR E&A.

ROOF TERRACE TO INCLUDE PERMANENT RAISED PLANTING BEDS AS INDICATED TOPROVIDE PRIVACY BUFFER AREAS, RE-POSITIONABLE PLANTING BEDS, BENCHES AND INTEGRAL RECESSED LIGHTING FOR RESIDENTS' AMENITY OR EQUAL AND APPROVED (E&A).

UPVC / ALUMINIUM FINISH TO WINDOWS AND DOORS WITH PAINTED CONCRETE / STONE / POWDER COATED ALUMINIUM SILLS.

SELECTED BRICK FINISH TO AREAS AS INDICATED. PLASTER / RENDER FINISH TO WALLS AS INDICATED. PLASTER / BRICK FINISH TO PLINTH.

## OFA

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PROJECT: PROPOSED GREAT CONNELL SHD AT NEWBRIDGE, CO. KILDARE.

TITLE: PROPOSED ELEVATIONS &amp; SECTIONS FOR APARTMENT BLOCK 'A'.

CLIENT: ASTON LTD.

STAGE: PLANNING

PROJECT NO.: 19070

DRG. NO.: PA-132 (SHEET 3 OF 3)

SCALE: 1:100

DRAWN: POF

DATE: MARCH 2022

CHECKED: POF



## APARTMENT TYPES:

## 'B1' + 'B7' + 'B13'

## 3 BED APARTMENT (6 PERSON)

## FLOOR AREA / ROOM WIDTH REQUIREMENTS\*:

AREAS:	PROVIDED:	MIN. REQUIRED:
BEDROOM 1 (MAIN)	14.8 M <sup>2</sup>	13 M <sup>2</sup>
BEDROOM 2	13.5 M <sup>2</sup>	11.4 M <sup>2</sup>
BEDROOM 3	11.4 M <sup>2</sup>	11.4 M <sup>2</sup>
AGGREGATE LIVING	36.8 M <sup>2</sup>	34 M <sup>2</sup>
AGGREGATE BEDROOM	39.7 M <sup>2</sup>	31.5 M <sup>2</sup>
GROSS STORAGE	9.2 M <sup>2</sup>	9 M <sup>2</sup>
PRIVATE AMENITY SPACE	23.5 M <sup>2</sup> MIN.	9 M <sup>2</sup>
COMMUNAL AMENITY SPACE	>9 M <sup>2</sup>	9 M <sup>2</sup>
GROSS FLOOR SPACE	114 M <sup>2</sup>	90 M <sup>2</sup>

WIDTHS:	PROVIDED:	MIN. REQUIRED:
LIVING / DINING ROOM	4 M	3.8 M
BEDROOM 1 (DOUBLE)	3.7 M	2.8 M
BEDROOM 2 (DOUBLE)	3.0 M	2.8 M
BEDROOM 3 (DOUBLE)	3.0 M	2.8 M

\*FIGURES TAKEN FROM SUSTAINABLE URBAN HOUSING: DESIGN STANDARDS FOR NEW APARTMENTS PUBLISHED BY THE D&ECLG.

## APARTMENT TYPES:

## 'B2' + 'B8' + 'B14' + 'B19'

## 2 BED APARTMENT (4 PERSON)

## FLOOR AREA / ROOM WIDTH REQUIREMENTS\*:

AREAS:	PROVIDED:	MIN. REQUIRED:
BEDROOM 1 (MAIN)	13.2 M <sup>2</sup>	13 M <sup>2</sup>
BEDROOM 2	13.3 M <sup>2</sup>	11.4 M <sup>2</sup>
AGGREGATE LIVING	33.6 M <sup>2</sup>	30 M <sup>2</sup>
AGGREGATE BEDROOM	26.5 M <sup>2</sup>	24.4 M <sup>2</sup>
GROSS STORAGE	6.1 M <sup>2</sup> MIN.	6 M <sup>2</sup>
PRIVATE AMENITY SPACE	10.9 M <sup>2</sup> MIN.	7 M <sup>2</sup>
COMMUNAL AMENITY SPACE	>7 M <sup>2</sup>	7 M <sup>2</sup>
GROSS FLOOR SPACE	86.3 M <sup>2</sup>	73 M <sup>2</sup>

WIDTHS:	PROVIDED:	MIN. REQUIRED:
LIVING / DINING ROOM	4 M	3.6 M
BEDROOM 1 (DOUBLE)	3.1 M	2.8 M
BEDROOM 2 (DOUBLE)	3.3 M	2.8 M

\*FIGURES TAKEN FROM SUSTAINABLE URBAN HOUSING: DESIGN STANDARDS FOR NEW APARTMENTS PUBLISHED BY THE D&ECLG.

## APARTMENT TYPES:

## 'B5' + 'B11' + 'B17'

## 2 BED APARTMENT (4 PERSON)

## FLOOR AREA / ROOM WIDTH REQUIREMENTS\*:

AREAS:	PROVIDED:	MIN. REQUIRED:
BEDROOM 1 (MAIN)	14.0 M <sup>2</sup>	13 M <sup>2</sup>
BEDROOM 2	12.9 M <sup>2</sup>	11.4 M <sup>2</sup>
AGGREGATE LIVING	30.0 M <sup>2</sup>	30 M <sup>2</sup>
AGGREGATE BEDROOM	26.9 M <sup>2</sup>	24.4 M <sup>2</sup>
GROSS STORAGE	6.0 M <sup>2</sup> MIN.	6 M <sup>2</sup>
PRIVATE AMENITY SPACE	22.6 M <sup>2</sup> MIN.	7 M <sup>2</sup>
COMMUNAL AMENITY SPACE	>7 M <sup>2</sup>	7 M <sup>2</sup>
GROSS FLOOR SPACE	80.3 M <sup>2</sup>	73 M <sup>2</sup>

WIDTHS:	PROVIDED:	MIN. REQUIRED:
LIVING / DINING ROOM	4 M	3.6 M
BEDROOM 1 (DOUBLE)	3.0 M	2.8 M
BEDROOM 2 (DOUBLE)	3.0 M	2.8 M

\*FIGURES TAKEN FROM SUSTAINABLE URBAN HOUSING: DESIGN STANDARDS FOR NEW APARTMENTS PUBLISHED BY THE D&ECLG.

## APARTMENT TYPES:

## 'B6' + 'B12' + 'B18'

## 2 BED APARTMENT (4 PERSON)

## FLOOR AREA / ROOM WIDTH REQUIREMENTS\*:

AREAS:	PROVIDED:	MIN. REQUIRED:
BEDROOM 1 (MAIN)	13.1 M <sup>2</sup>	13 M <sup>2</sup>
BEDROOM 2	11.4 M <sup>2</sup>	11.4 M <sup>2</sup>
AGGREGATE LIVING	31.2 M <sup>2</sup>	30 M <sup>2</sup>
AGGREGATE BEDROOM	24.5 M <sup>2</sup>	24.4 M <sup>2</sup>
GROSS STORAGE	6.0 M <sup>2</sup> MIN.	6 M <sup>2</sup>
PRIVATE AMENITY SPACE	7.6 M <sup>2</sup> MIN.	7 M <sup>2</sup>
COMMUNAL AMENITY SPACE	>7 M <sup>2</sup>	7 M <sup>2</sup>
GROSS FLOOR SPACE	81.3 M <sup>2</sup>	73 M <sup>2</sup>

WIDTHS:	PROVIDED:	MIN. REQUIRED:
LIVING / DINING ROOM	4 M	3.6 M
BEDROOM 1 (DOUBLE)	3.0 M	2.8 M
BEDROOM 2 (DOUBLE)	3.0 M	2.8 M

\*FIGURES TAKEN FROM SUSTAINABLE URBAN HOUSING: DESIGN STANDARDS FOR NEW APARTMENTS PUBLISHED BY THE D&ECLG.

## APARTMENT TYPES:

## 'B22'

## 2 BED APARTMENT (4 PERSON)

## FLOOR AREA / ROOM WIDTH REQUIREMENTS\*:

AREAS:	PROVIDED:	MIN. REQUIRED:
BEDROOM 1 (MAIN)	14.0 M <sup>2</sup>	13 M <sup>2</sup>
BEDROOM 2	11.9 M <sup>2</sup>	11.4 M <sup>2</sup>
AGGREGATE LIVING	31.6 M <sup>2</sup>	30 M <sup>2</sup>
AGGREGATE BEDROOM	27.4 M <sup>2</sup>	24.4 M <sup>2</sup>
GROSS STORAGE	7.5 M <sup>2</sup> MIN.	6 M <sup>2</sup>
PRIVATE AMENITY SPACE	22.6 M <sup>2</sup> MIN.	7 M <sup>2</sup>
COMMUNAL AMENITY SPACE	>7 M <sup>2</sup>	7 M <sup>2</sup>
GROSS FLOOR SPACE	83.6 M <sup>2</sup>	73 M <sup>2</sup>

WIDTHS:	PROVIDED:	MIN. REQUIRED:
LIVING / DINING ROOM	4 M	3.6 M
BEDROOM 1 (DOUBLE)	3.0 M	2.8 M
BEDROOM 2 (DOUBLE)	3.0 M	2.8 M

\*FIGURES TAKEN FROM SUSTAINABLE URBAN HOUSING: DESIGN STANDARDS FOR NEW APARTMENTS PUBLISHED BY THE D&ECLG.

## APARTMENT TYPES:

## 'B9' + 'B15' + 'B20'

## 2 BED APARTMENT (3 PERSON)

## FLOOR AREA / ROOM WIDTH REQUIREMENTS\*:

AREAS:	PROVIDED:	MIN. REQUIRED:
BEDROOM 1 (MAIN)	13.0 M <sup>2</sup>	13 M <sup>2</sup>
BEDROOM 2	7.2 M <sup>2</sup>	7.1 M <sup>2</sup>
AGGREGATE LIVING	28.0 M <sup>2</sup>	28 M <sup>2</sup>
AGGREGATE BEDROOM	20.2 M <sup>2</sup>	20.1 M <sup>2</sup>
GROSS STORAGE	5.6 M <sup>2</sup> MIN.	5 M <sup>2</sup>
PRIVATE AMENITY SPACE	7.2 M <sup>2</sup> MIN.	7 M <sup>2</sup>
COMMUNAL AMENITY SPACE	>6 M <sup>2</sup>	6 M <sup>2</sup>
GROSS FLOOR SPACE	67.1 M <sup>2</sup>	63 M <sup>2</sup>

WIDTHS:	PROVIDED:	MIN. REQUIRED:
LIVING / DINING ROOM	4 M	3.6 M
BEDROOM 1 (DOUBLE)	3.2 M	2.8 M
BEDROOM 2 (SINGLE)	2.2 M	2.1 M

\*FIGURES TAKEN FROM SUSTAINABLE URBAN HOUSING: DESIGN STANDARDS FOR NEW APARTMENTS PUBLISHED BY THE D&ECLG.

## APARTMENT TYPE:

## 'B4' + 'B10' + 'B16' + 'B21'

## 1 BED APARTMENT (2 PERSON)

## FLOOR AREA / ROOM WIDTH REQUIREMENTS\*:

AREAS:	PROVIDED:	MIN. REQUIRED:
BEDROOM 1 (MAIN)	11.8 M <sup>2</sup>	11.4 M <sup>2</sup>
AGGREGATE LIVING	23.0 M <sup>2</sup>	23 M <sup>2</sup>
AGGREGATE BEDROOM	11.8 M <sup>2</sup>	11.4 M <sup>2</sup>
GROSS STORAGE	3.0 M <sup>2</sup>	3 M <sup>2</sup>
PRIVATE AMENITY SPACE	5.7 M <sup>2</sup>	5 M <sup>2</sup>
COMMUNAL AMENITY SPACE	>5 M <sup>2</sup>	5 M <sup>2</sup>
GROSS FLOOR SPACE	46.8 M <sup>2</sup>	45 M <sup>2</sup>

WIDTHS:	PROVIDED:	MIN. REQUIRED:
LIVING / DINING ROOM	3.3 M	3.3 M
BEDROOM 1 (DOUBLE)	3.2 M	3.6 M

\*FIGURES TAKEN FROM SUSTAINABLE URBAN HOUSING: DESIGN STANDARDS FOR NEW APARTMENTS PUBLISHED BY THE D&ECLG.

## APARTMENT TYPE:

## 'B3'

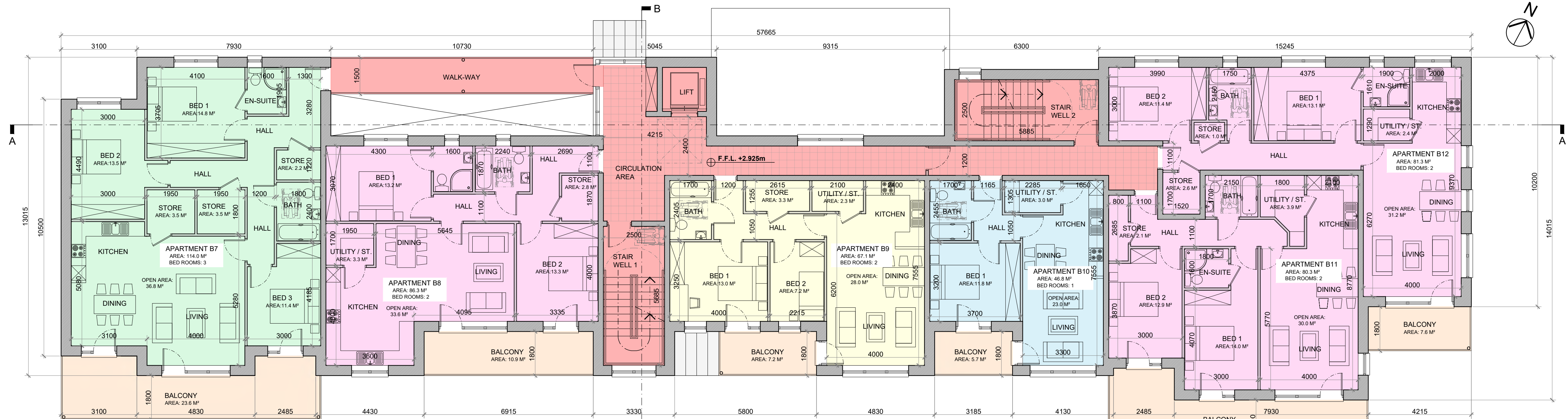
## 1 BED APARTMENT (2 PERSON)

## FLOOR AREA / ROOM WIDTH REQUIREMENTS\*:

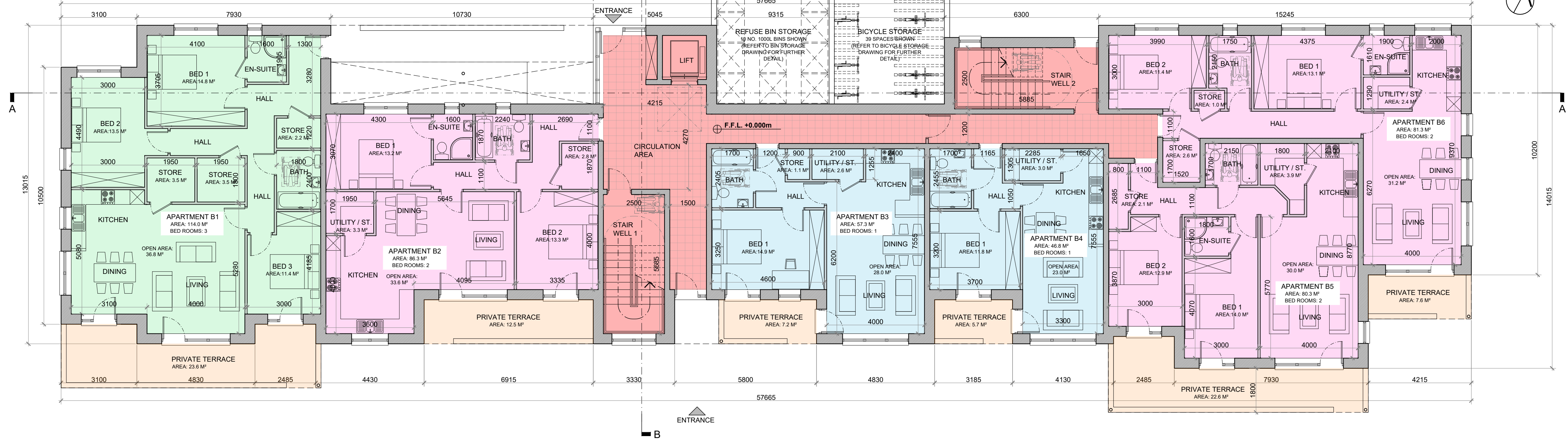
AREAS:	PROVIDED:	MIN. REQUIRED:
BEDROOM 1 (MAIN)	14.9 M <sup>2</sup>	11.4 M <sup>2</sup>
AGGREGATE LIVING	26.0 M <sup>2</sup>	23 M <sup>2</sup>
AGGREGATE BEDROOM	14.9 M <sup>2</sup>	11.4 M <sup>2</sup>
GROSS STORAGE	3.7 M <sup>2</sup>	3 M <sup>2</sup>
PRIVATE AMENITY SPACE	6.0 M <sup>2</sup>	5 M <sup>2</sup>
COMMUNAL AMENITY SPACE	>5 M <sup>2</sup>	5 M <sup>2</sup>
GROSS FLOOR SPACE	57.3 M <sup>2</sup>	45 M <sup>2</sup>

WIDTHS:	PROVIDED:	MIN. REQUIRED:
LIVING / DINING ROOM	4.0 M	3.3 M
BEDROOM 1 (DOUBLE)	3.2 M	2.8 M

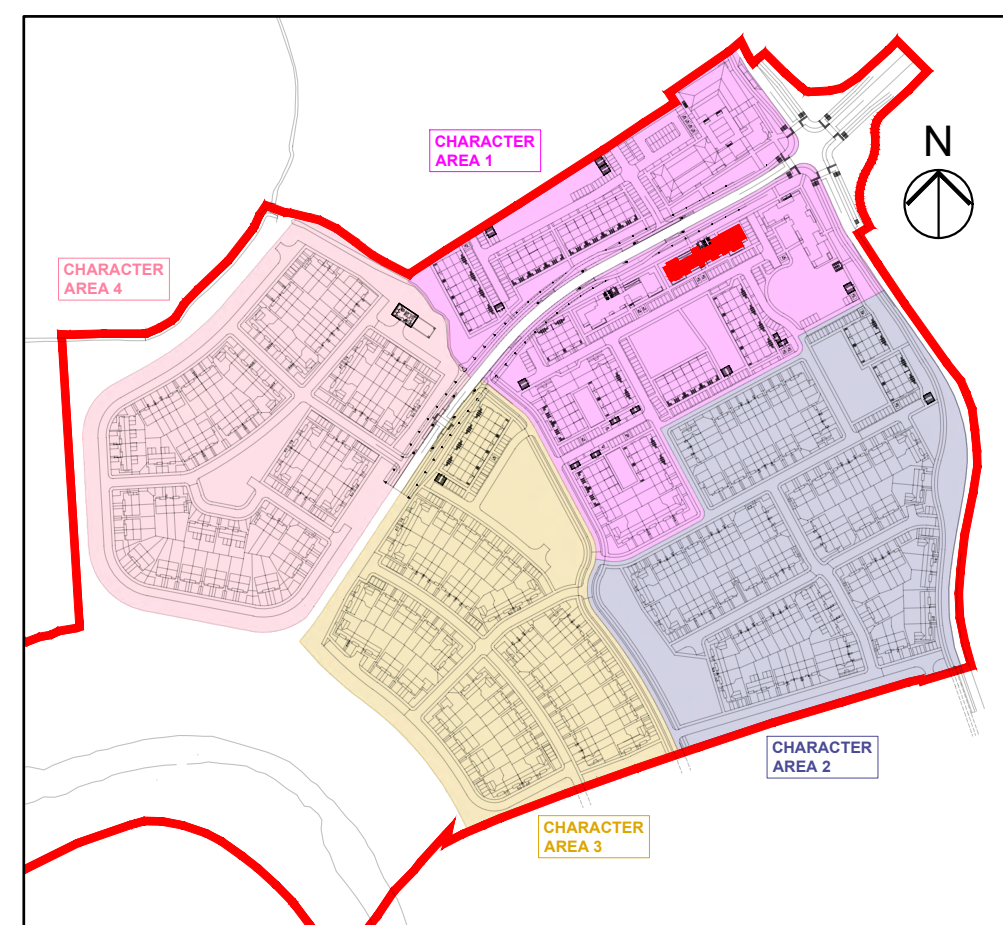
\*FIGURES TAKEN FROM SUSTAINABLE URBAN HOUSING: DESIGN STANDARDS FOR NEW APARTMENTS PUBLISHED BY THE D&ECLG.



BLOCK 'B' FIRST FLOOR PLAN

@ 1:100 (FLOOR AREA: 570.3 M<sup>2</sup>)

BLOCK 'B' GROUND FLOOR PLAN

@ 1:100 (FLOOR AREA: 570.3 M<sup>2</sup>)

KEY PLAN

REFER TO THE SITE LAYOUT DRAWING FOR THE FINISHED FLOOR LEVEL FOR THE BLOCK.

## LEGEND:

3 BED APARTMENT:	
2 BED APARTMENT:	
(4 PERSON)	
2 BED APARTMENT:	
(3 PERSON)	
1 BED APARTMENT:	
CIRCULATION:	
(LIFT SHAFT, STAIRWELL, CORRIDOR ETC.)	
PRIVATE AMENITY SPACE:	

APARTMENT BLOCK 'B'

## NOTES:

DO NOT SCALE. USE ONLY FIGURED DIMENSIONS WHICH SHOULD BE CHECKED ON SITE BEFORE WORK COMMENCES.

ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE LATEST BUILDING REGULATIONS.

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## DATE:


## LEGEND:


## OFA

O'FLYNN ARCHITECTS,  
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CO. KILDARE.  
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PROJECT: PROPOSED GREAT CONNELL SHD AT NEWBRIDGE, CO. KILDARE.

TITLE: PROPOSED GROUND &amp; FIRST FLOOR PLANS FOR APARTMENT BLOCK 'B'.

CLIENT: ASTON LTD.

STAGE: PLANNING

PROJECT NO.: 19070

DRG. NO.: PA-133 (SHEET 1 OF 3)

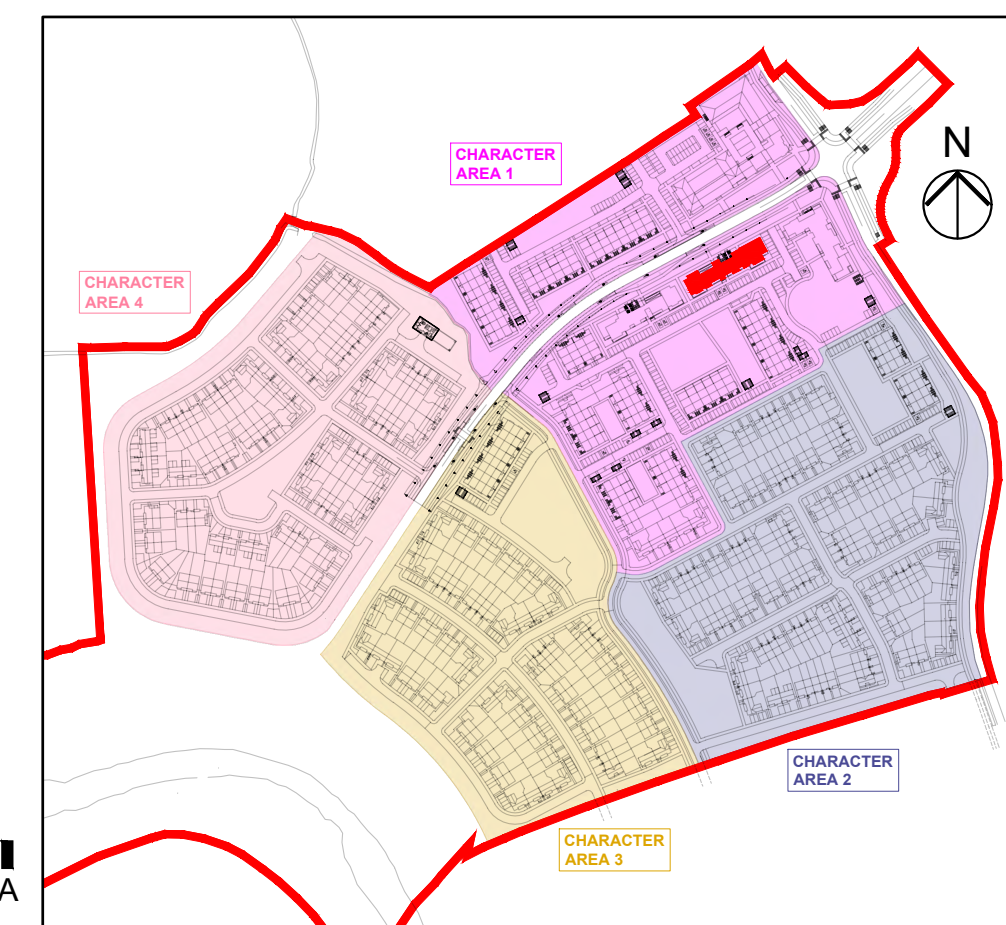
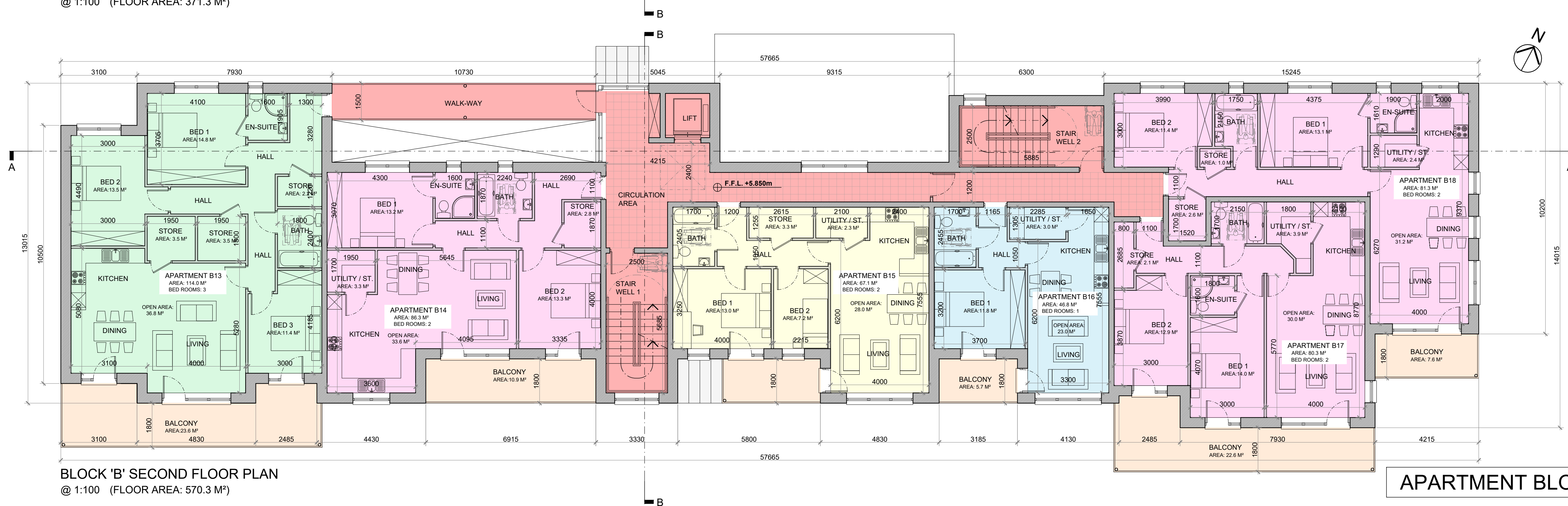
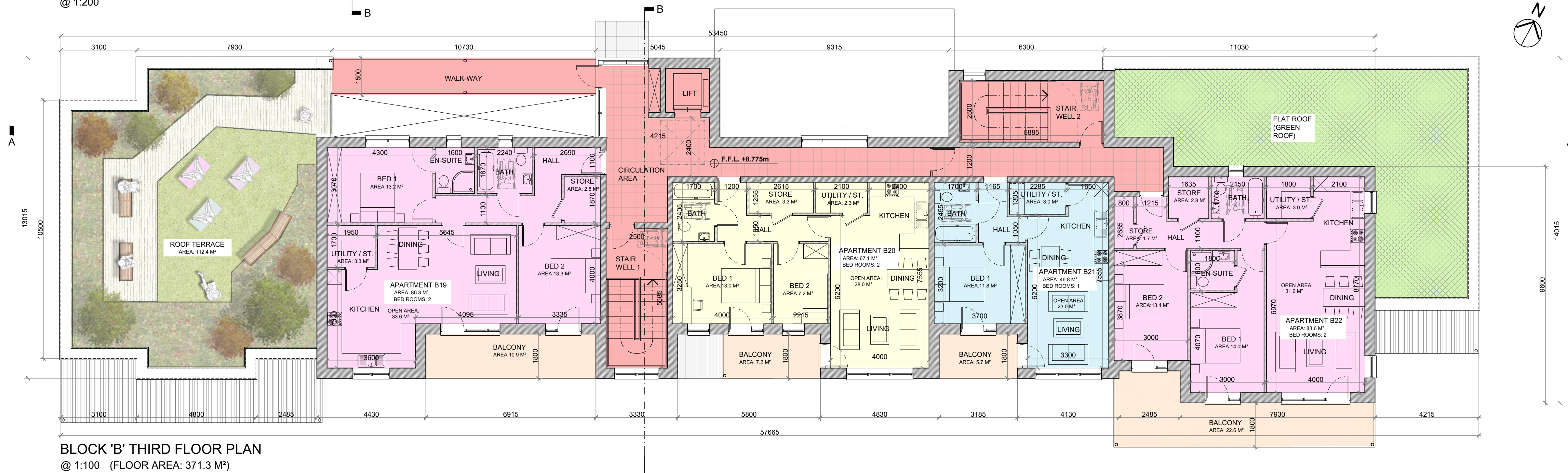
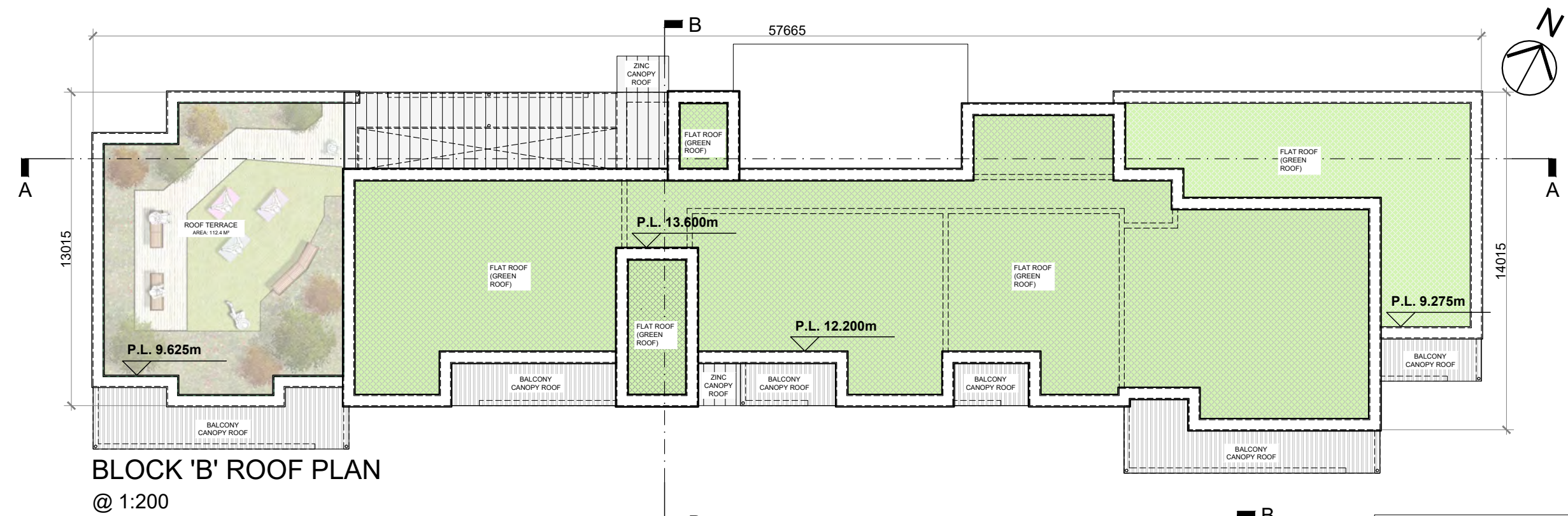
SCALE: 1:100

DRAWN: POF

DATE: MARCH 2022

CHECKED: POF





REFER TO THE SITE LAYOUT DRAWING FOR THE FINISHED FLOOR LEVEL FOR THE BLOCK.

**LEGEND:**

3 BED APARTMENT:	
2 BED APARTMENT: (4 PERSON)	
2 BED APARTMENT: (3 PERSON)	
1 BED APARTMENT:	
CIRCULATION: (LIFT SHAFT, STAIRWELL, CORRIDOR ETC.)	
PRIVATE AMENITY SPACE:	
COMMUNAL AMENITY SPACE:	

**NOTES:**

DO NOT SCALE. USE ONLY FIGURED DIMENSIONS WHICH SHOULD BE CHECKED ON SITE BEFORE WORK COMMENCES.

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**LEGEND:**

**OFA**

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PROJECT: PROPOSED GREAT CONNELL SHD AT NEWBRIDGE, CO. KILDARE.

TITLE: PROPOSED 2ND & 3RD FLOOR & ROOF PLANS FOR APARTMENT BLOCK 'B'.

CLIENT: ASTON LTD.

STAGE: PLANNING

PROJECT NO.: 19070

DRG. NO.: PA-134 (SHEET 2 OF 3)

SCALE: 1:100, 1:200

DRAWN: POF

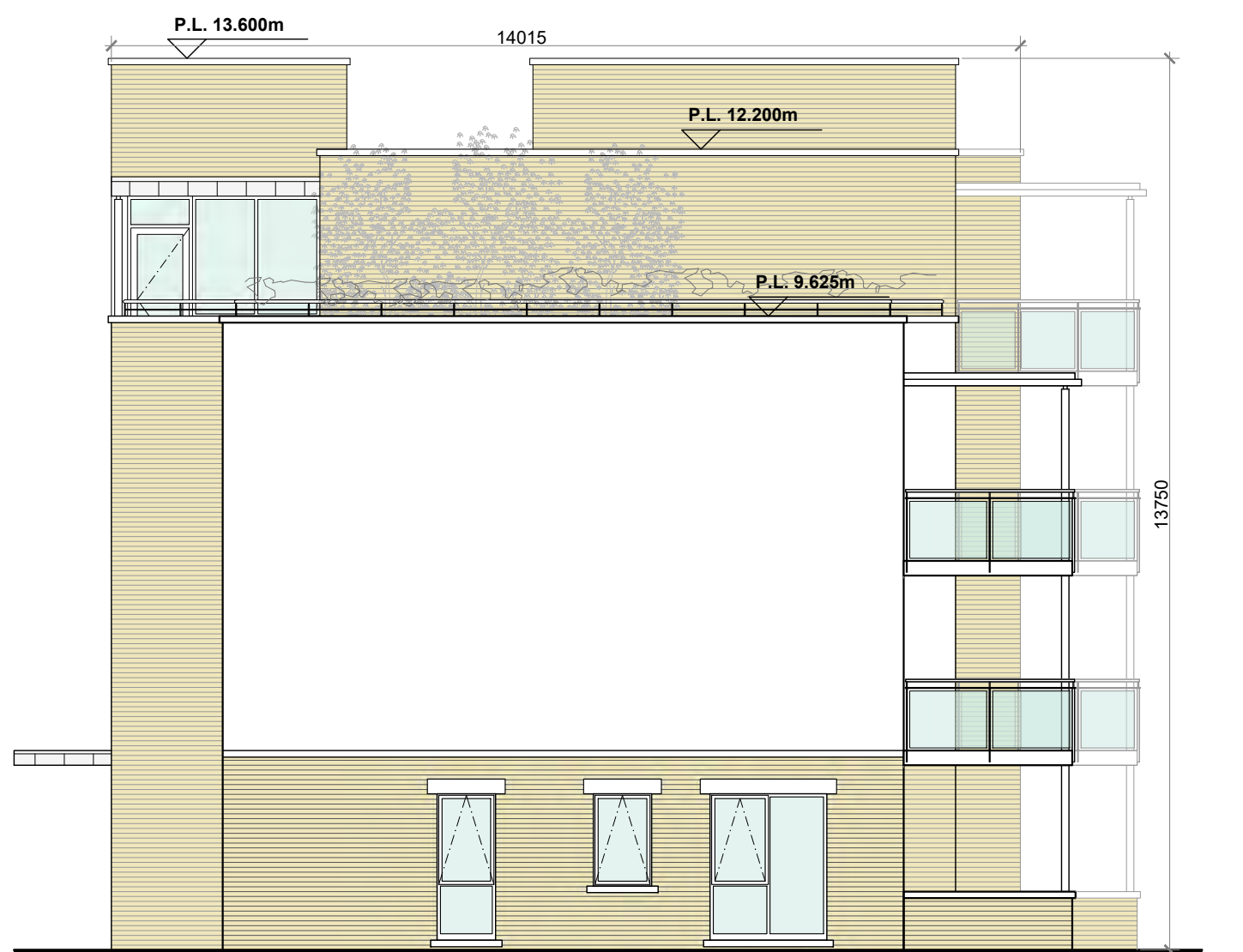
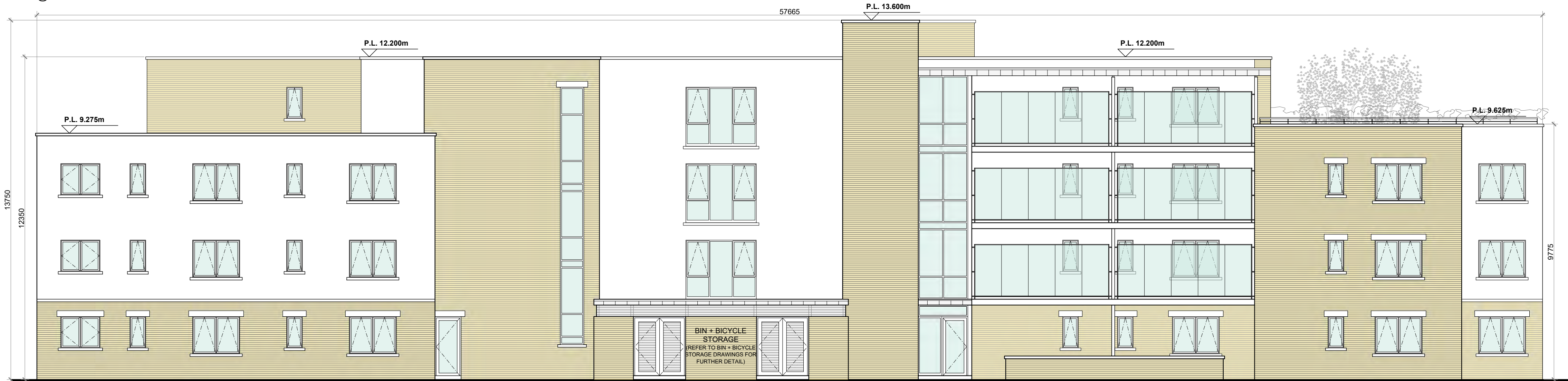
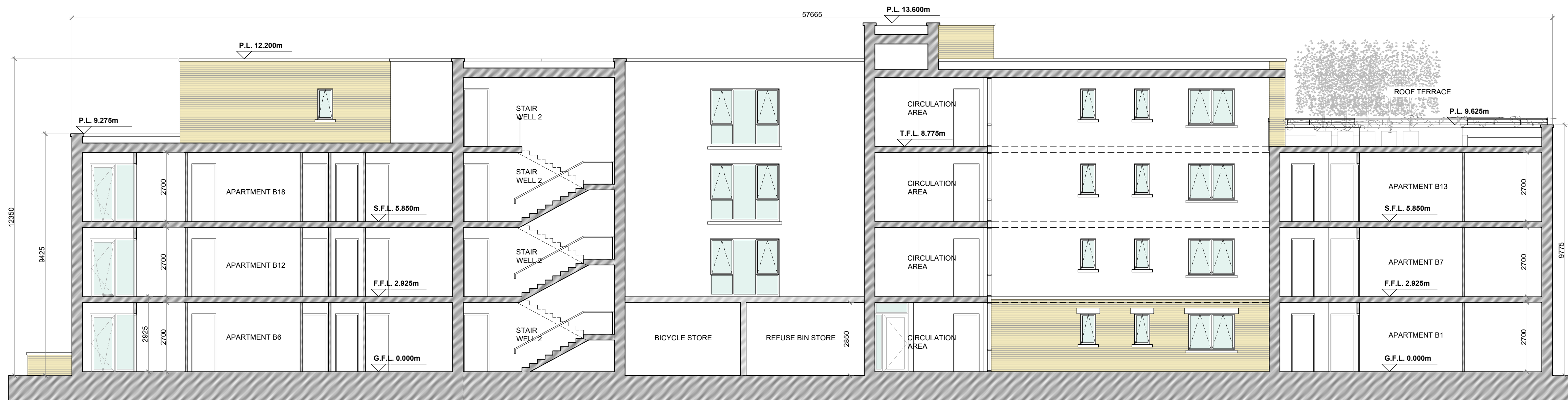
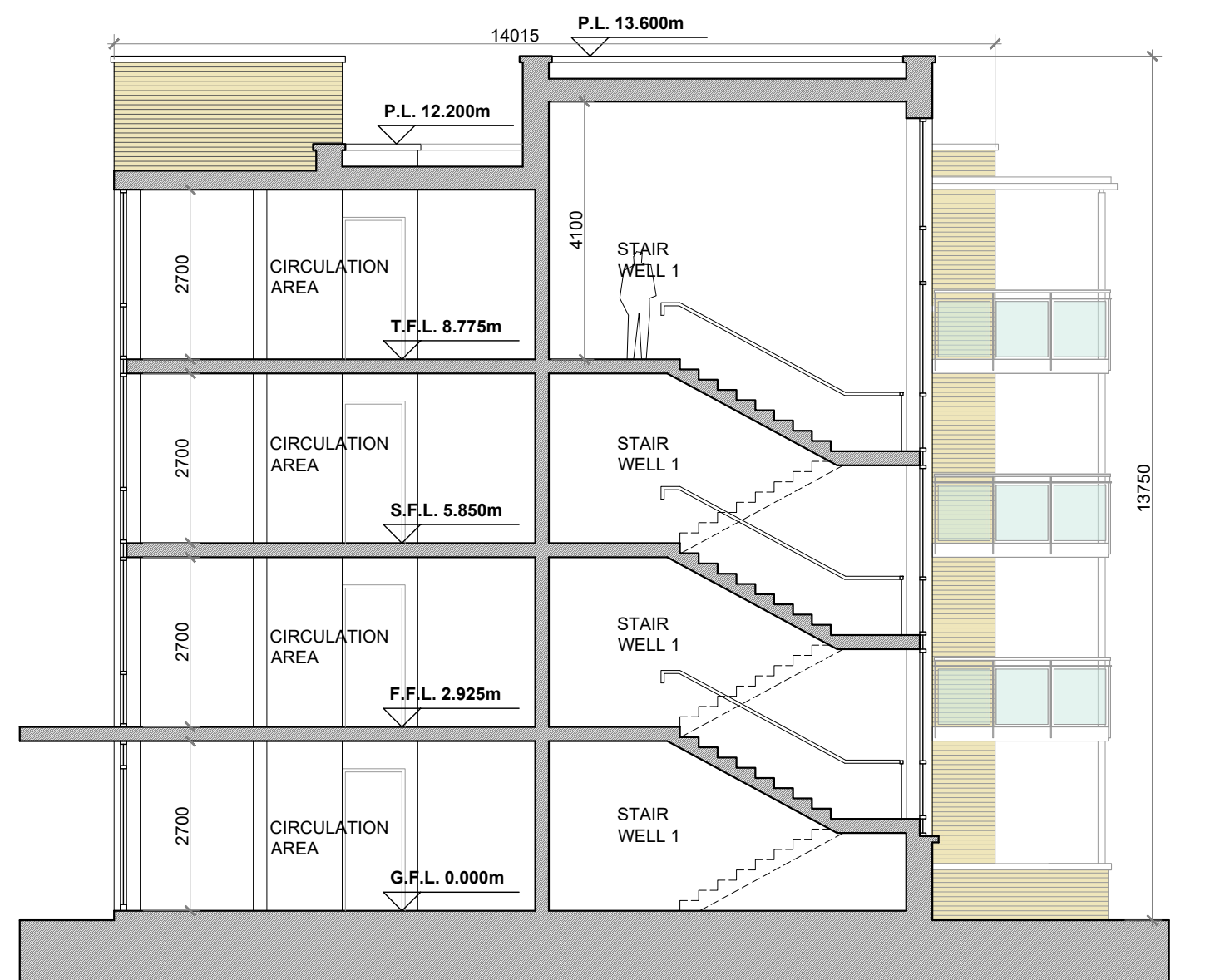
DATE: MARCH 2022

CHECKED: POF

**APARTMENT BLOCK 'B'**



A1

BLOCK 'B' (SOUTH-EAST) ELEVATION  
@ 1:100BLOCK 'B' (SOUTH-WEST) ELEVATION  
@ 1:100BLOCK 'B' (NORTH-WEST) ELEVATION  
@ 1:100BLOCK 'B' (NORTH-EAST) ELEVATION  
@ 1:100BLOCK 'B' SECTION A-A  
@ 1:100BLOCK 'B' SECTION B-B  
@ 1:100

## APARTMENT BLOCK 'B'

## NOTES:

DO NOT SCALE. USE ONLY FIGURED DIMENSIONS WHICH SHOULD BE CHECKED ON SITE BEFORE WORK COMMENCES.

ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE LATEST BUILDING REGULATIONS.

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## PROPOSED FINISHES:

TROCAL / GREEN ROOF FINISH TO FLAT ROOF OR EQUAL & APPROVED (E&A). ALL MAIN FLAT ROOF AREAS ARE CONCEALED FROM VIEW. ROOF PARAPETS TO BE CAPPED WITH POWDER COATED ALUMINIUM CAPPING / CONCRETE / STONE CAPPING OR STANDING SEAM ZINC / SELECTED METAL CLADDING. ENTRANCE CANOPY ROOF / BALCONY ROOFS TO BE CLAD WITH STANDING SEAM ZINC / SELECTED METAL CLADDING. UPVC / ALUMINIUM FINISH TO GUTTERS AND DOWNPIPES.

BALCONIES TO HAVE PRIMARY STRUCTURE OF GALVANISED AND POWDER-COATED MILD STEEL. COLUMNS TO BE CIRCULAR SECTION. BALCONY FLOOR TO BE TREATED TIMBER DECKING OR E&A. UPRIGHTS AND BALUSTRADE STRUCTURE TO BE FABRICATED FROM GALVANISED AND POWDER-COATED MILD STEEL FLATS OR E&A. HANDRAIL TO BE CIRCULAR HARDWOOD SECTION OR E&A. INFILL TO BE TOUGHENED AND LAMINATED GLASS. PRIVACY SCREENS AT ENDS OF BALCONIES TO BE MILK-WHITE OPAQUE TOUGHENED AND LAMINATED GLASS HELD IN GALVANISED AND POWDER-COATED MILD STEEL FRAMES FIXED TO WALL. HEIGHT OF PRIVACY SCREENS TO BE 2.1M OR E&A.

ROOF TERRACE TO INCLUDE PERMANENT RAISED PLANTING BEDS AS INDICATED TOPROVIDE PRIVACY BUFFER AREAS, RE-POSITIONABLE PLANTING BEDS, BENCHES AND INTEGRAL RECESSED LIGHTING FOR RESIDENTS' AMENITY OR EQUAL AND APPROVED (E&A).

UPVC / ALUMINIUM FINISH TO WINDOWS AND DOORS WITH PAINTED CONCRETE / STONE / POWDER COATED ALUMINIUM SILLS.

SELECTED BRICK FINISH TO AREAS AS INDICATED. PLASTER / RENDER FINISH TO WALLS AS INDICATED. PLASTER / BRICK FINISH TO PLINTH.

## OFA

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PROJECT: PROPOSED GREAT CONNELL SHD AT NEWBRIDGE, CO. KILDARE.

TITLE: PROPOSED ELEVATIONS &amp; SECTIONS FOR APARTMENT BLOCK 'B'.

CLIENT: ASTON LTD.

STAGE: PLANNING

PROJECT NO.: 19070

DRG. NO.: PA-135 (SHEET 3 OF 3)

SCALE: 1:100

DRAWN: POF

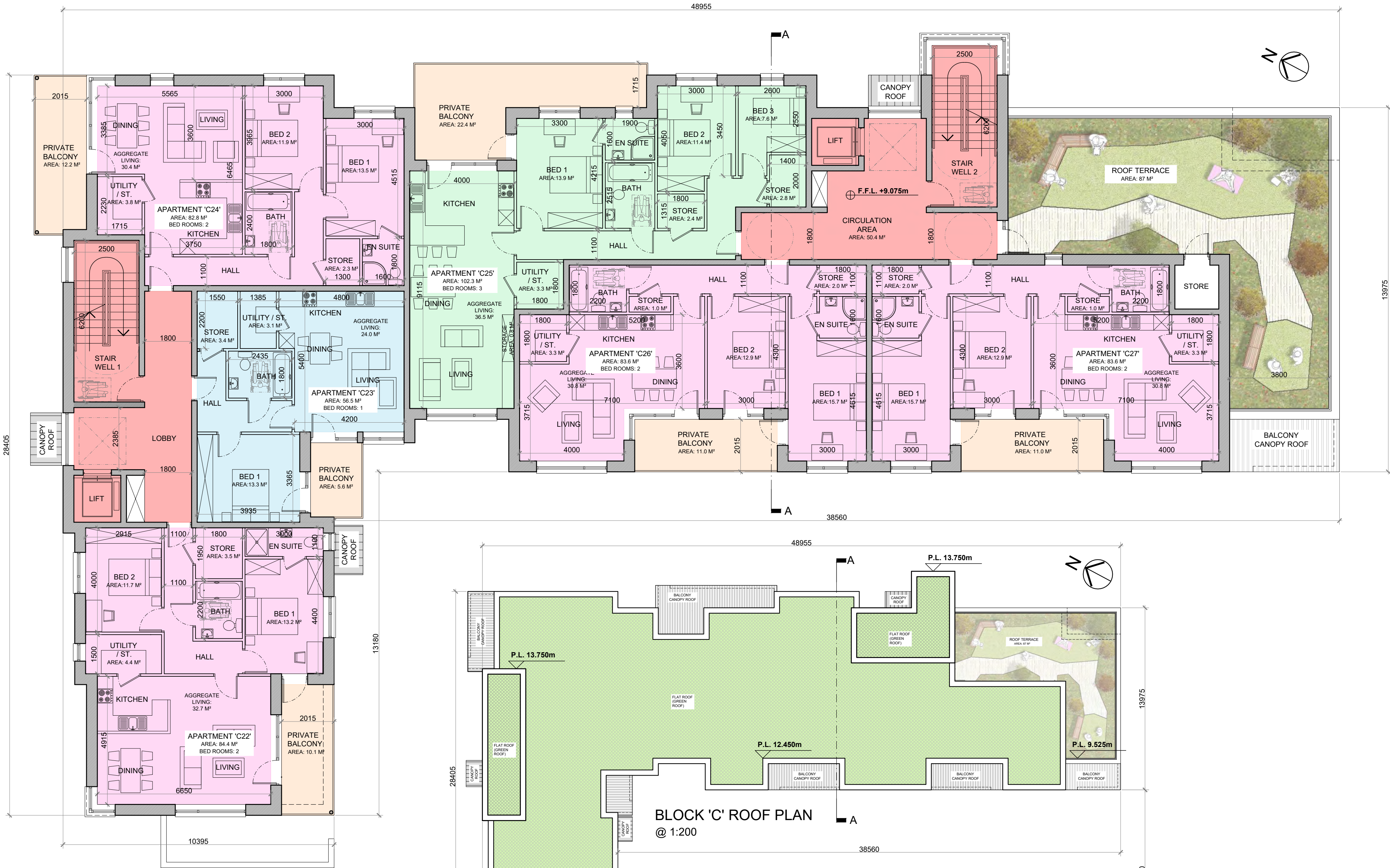
DATE: MARCH 2022

CHECKED: POF



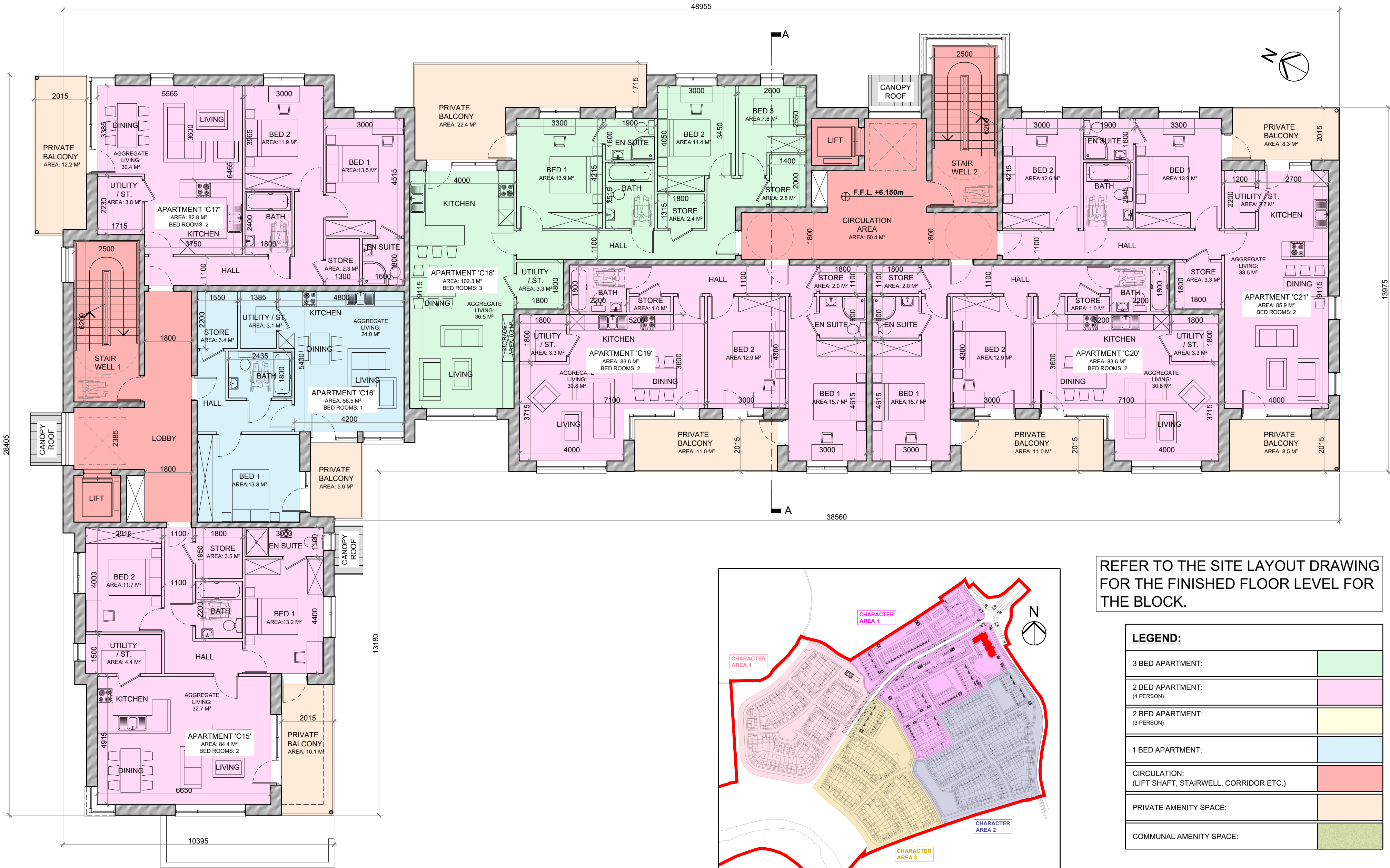






BLOCK 'C' THIRD FLOOR PLAN  
@ 1:100  
(FLOOR AREA: 609.1 m<sup>2</sup>)

BLOCK 'C' ROOF PLAN  
@ 1:200



BLOCK 'C' SECOND FLOOR PLAN  
@ 1:100  
(FLOOR AREA: 695.6 m<sup>2</sup>)

KEY PLAN

REFER TO THE SITE LAYOUT DRAWING  
FOR THE FINISHED FLOOR LEVEL FOR  
THE BLOCK.

LEGEND:	
3 BED APARTMENT:	
2 BED APARTMENT: (4 PERSON)	
2 BED APARTMENT: (3 PERSON)	
1 BED APARTMENT:	
CIRCULATION: (LIFT SHAFT, STAIRWELL, CORRIDOR ETC.)	
PRIVATE AMENITY SPACE:	
COMMUNAL AMENITY SPACE:	

NOTES:

DO NOT SCALE. USE ONLY FIGURED DIMENSIONS WHICH SHOULD BE CHECKED ON SITE BEFORE WORK COMMENCES.

ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE LATEST BUILDING REGULATIONS.

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LEGEND:

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RIA  
2021

PROJECT: PROPOSED GREAT CONNELL SHD AT NEWBRIDGE, CO. KILDARE.

TITLE: PROPOSED SECOND FLOOR PLAN; THIRD FLOOR PLAN; AND ROOF PLAN OF APARTMENT BLOCK 'C'.

CLIENT: ASTON LTD.	STAGE: PLANNING
PROJECT NO.: 19070	DRG. NO.: PA-137 (SHEET 2 OF 3)
SCALE: 1:100, 1:200	DRAWN: POF
DATE: MARCH 2022	CHECKED: POF





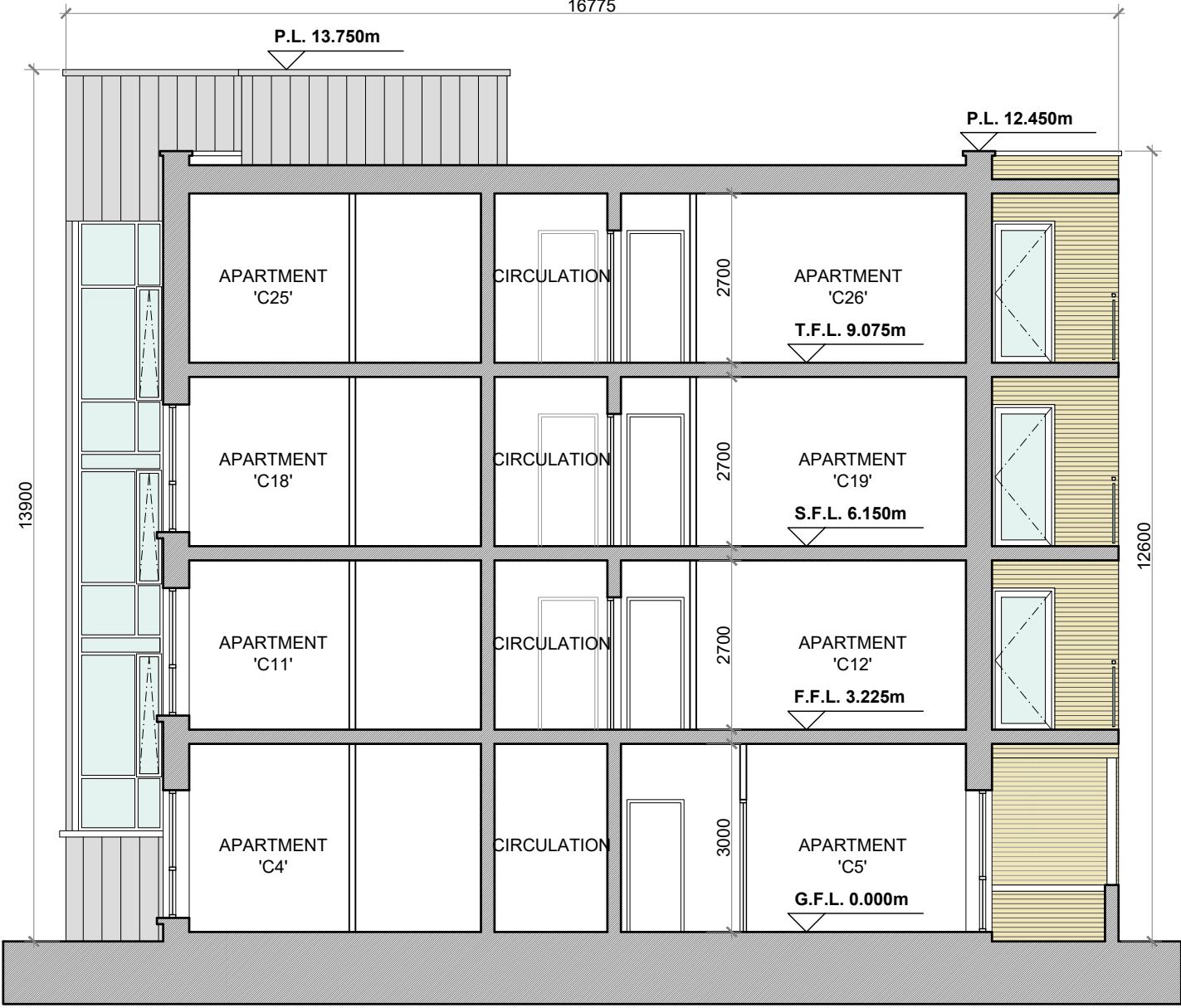
BLOCK 'C' (SOUTH-WEST) ELEVATION  
@ 1:100



BLOCK 'C' (NORTH-EAST) ELEVATION  
@ 1:100

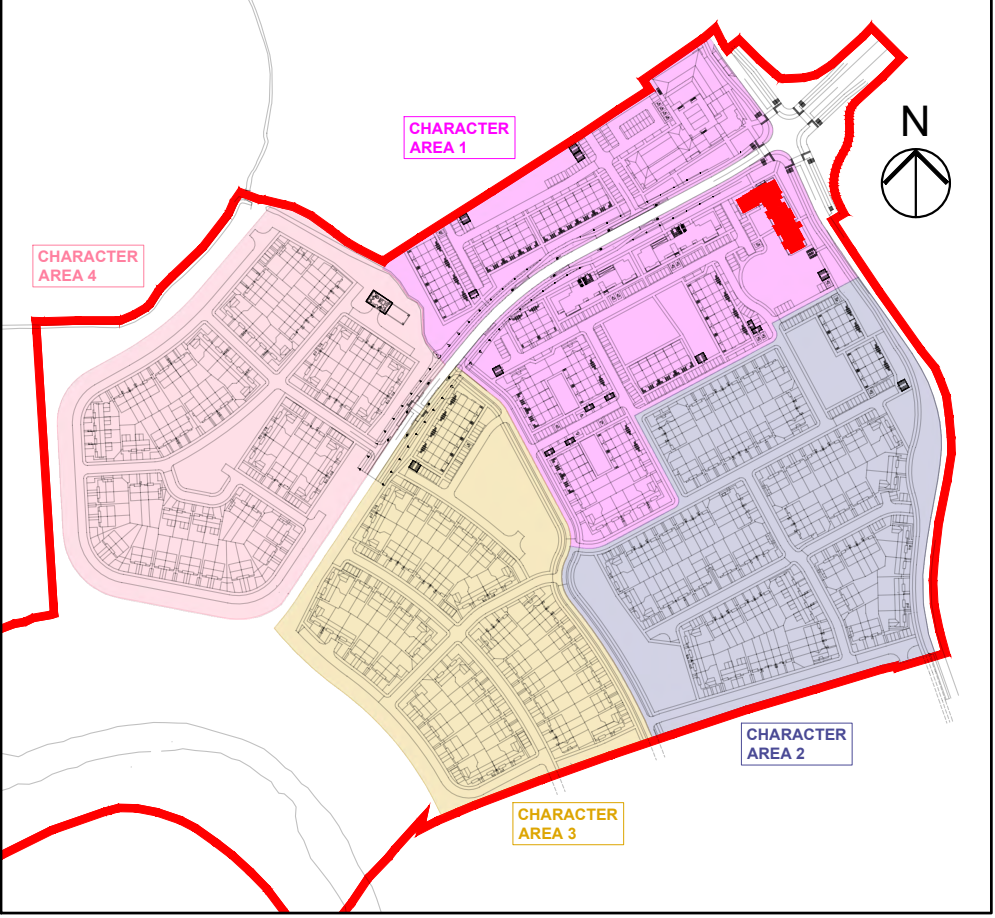


BLOCK 'C' (NORTH-WEST) ELEVATION  
@ 1:100



BLOCK 'C' SECTION A-A  
@ 1:100

**PROPOSED FINISHES:**  
TROCIAL / GREEN ROOF FINISH TO FLAT ROOF OR EQUAL & APPROVED (E&A). ALL MAIN FLAT ROOF AREAS ARE CONCEALED FROM VIEW. ROOF PARAPETS TO BE CAPPED WITH POWDER COATED ALUMINIUM CAPPING / CONCRETE / STONE CAPPING OR STANDING SEAM ZINC / SELECTED METAL CLADDING. ENTRANCE CANOPY ROOF / BALCONY ROOFS TO BE CLAD WITH STANDING SEAM ZINC / SELECTED METAL CLADDING. UPVC / ALUMINIUM FINISH TO GUTTERS AND DOWNPIPES.  
BALCONIES TO HAVE PRIMARY STRUCTURE OF GALVANISED AND POWDER-COATED MILD STEEL. COLUMNS TO BE CIRCULAR SECTION. BALCONY FLOOR TO BE TREATED TIMBER DECKING OR E&A. UPRIGHTS AND BALUSTRADE STRUCTURE TO BE FABRICATED FROM GALVANISED AND POWDER-COATED MILD STEEL PLATS OR E&A. HANDRAIL TO BE CIRCULAR HARDWOOD SECTION OR E&A. INFILL TO BE TOUGHENED AND LAMINATED GLASS. PRIVACY SCREENS AT ENDS OF BALCONIES TO BE MILK-WHITE OPAQUE TOUGHENED AND LAMINATED GLASS HELD IN GALVANISED AND POWDER-COATED MILD STEEL FRAMES FIXED TO WALL. HEIGHT OF PRIVACY SCREENS TO BE 2.1M OR E&A.  
ROOF TERRACE TO INCLUDE PERMANENT RAISED PLANTING BEDS AS INDICATED TO PROVIDE PRIVACY BUFFER AREAS, RE-POSITIONABLE PLANTING BEDS, BENCHES AND INTEGRAL RECESSED LIGHTING FOR RESIDENTS' AMENITY OR EQUAL AND APPROVED (E&A).  
UPVC / ALUMINIUM FINISH TO WINDOWS AND DOORS WITH PAINTED CONCRETE / STONE / POWDER COATED ALUMINIUM SILLS.  
SELECTED BRICK FINISH TO AREAS AS INDICATED. PLASTER / RENDER FINISH TO WALLS AS INDICATED. STANDING SEAM ZINC / SELECTED METAL CLADDING TO WALLS AS INDICATED. PLASTER / BRICK FINISH TO PLINTH.



KEY PLAN

APARTMENT BLOCK 'C'

**NOTES:**  
DO NOT SCALE. USE ONLY FIGURED DIMENSIONS WHICH SHOULD BE CHECKED ON SITE BEFORE WORK COMMENCES.  
ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE LATEST BUILDING REGULATIONS.  
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**LEGEND:**  
REFER TO THE SITE LAYOUT DRAWING FOR THE FINISHED FLOOR LEVEL FOR THE BLOCK.

<b>OFA</b> O'FLYNN ARCHITECTS, LOWER EYRE STREET, CO KILDARE. TEL: 085 433400 EMAIL: info@oflynnarchitects.ie WEB: www.oflynnarchitect.ie		PROJECT: PROPOSED GREAT CONNELL SHD AT NEWBRIDGE, CO. KILDARE.	
<b>RIA</b> Member 2021		TITLE: PROPOSED ELEVATIONS & SECTION OF APARTMENT BLOCK 'C'.	
CLIENT: ASTON LTD.		STAGE: PLANNING	
PROJECT NO.: 19070		DRG. NO.: PA-138 (SHEET 3 OF 3)	
SCALE: 1:100		DRAWN: POF	
DATE: MARCH 2022		CHECKED: POF	